

CITY OF WASHINGTON

PLANNING & DEVELOPMENT DEPARTMENT

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MEMORANDUM

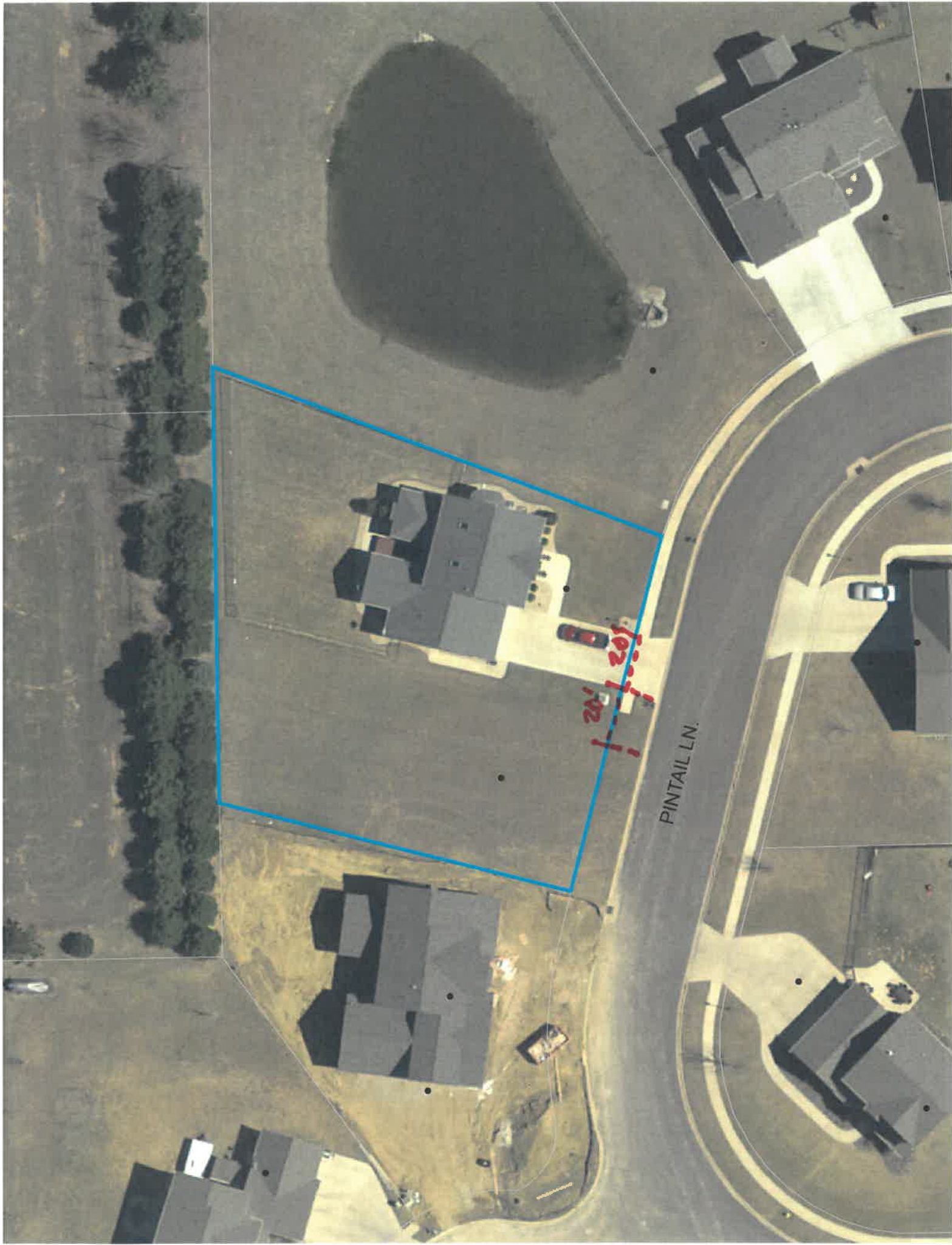
TO: Public Works Committee
FROM: Jon R. Oliphant, AICP, Planning & Development Director
SUBJECT: Increased Approach Width Request – 737 Pintail
DATE: August 2, 2017

Patti Moehle owns the lot at 737 Pintail Lane. She purchased the adjacent undeveloped lot earlier this year and combined the lots. She subsequently has built an attached garage to the west.

Ms. Moehle has asked about widening her driveway to allow for easier access to the new garage. Staff has informed her that the City's construction standards only allow for a 30' wide approach at the right-of-way with three-foot flares on either side. Ms. Moehle has requested that she be allowed a 34' wide approach. She currently has an approximately 20' wide approach.

Staff has asked if she would be open to having two separate driveways for each of the garages, as she has two lots that were combined. She would rather only have the one driveway provided it was widened. Copies of the site plan showing the desired approach width and the construction plans is attached.

Staff seeks direction on whether this variation of the construction standards is warranted. This is scheduled as an agenda item at the August 7 Public Works Committee meeting.



737 PINTAIL

ALL LAYOUTS MUST BE FOLLOWED IN ORDER FOR JOISTS & ROOF TRUSSES TO FIT PROPERLY.
ALL WINDOW CALL OUTS MUST BE VERIFIED PRIOR TO CONSTRUCTION. WINDOW COMPANIES USE DIFFERENT SIZES AND TYPES OF WINDOWS. ALL WINDOWS MUST BE ORDERED WITH THE CORRECT FRAME SIZE, ETC. MUST BE VERIFIED BY GENERAL CONTRACTOR.

LS BUILDING PRODUCTS CAN NOT BE HELD RESPONSIBLE FOR ANY MATERIAL NOT SUPPLIED BY LS BUILDING PRODUCTS. THE GENERAL CONTRACTOR HAS THE RESPONSIBILITY TO VERIFY THE MATERIALS WORK TOGETHER PROPERLY.

ACTUAL GRADE CANNOT BE DETERMINED. ALL GRADE FACTORS MUST BE CHECKED ON SITE PRIOR TO CONSTRUCTION.

THE GENERAL CONTRACTOR HAS THE RESPONSIBILITY TO VERIFY THE DRAWINGS PRIOR TO CONSTRUCTION TO ENSURE THEY ARE CORRECT, CONSISTENT AND COMPLY WITH ALL APPLICABLE CODES. ALL DIMENSIONS MUST BE VERIFIED PRIOR TO CONSTRUCTION.

LS Building Products does not have the capability to solve wall breaching issues with wall studs exceeding 12' in height. Any wall with a stud height more than 12' will most likely need engineering to pass code enforcement. The contractor is held liable for all code enforcing issues and expenses.

In accordance with the Illinois Architecture Practice Act of 1989 allowing for the design and construction of single family residences by a non-licensed designer, these plans are not intended to be relied upon as being structurally certified. LS Building Products and all Affiliates neither assumes nor warrants any responsibility or liability for damages or losses resulting in the use of these plans, drawings and specifications documents. It is expressly acknowledged that these plans, drawings and specifications documents are not intended to be relied upon for structural integrity. It is the sole responsibility of the purchaser/contractor/builder to verify all plan documents for their accuracy and suitability for design and construction. It is recommended by all parties that a licensed professional review all documents before construction.

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OF 6

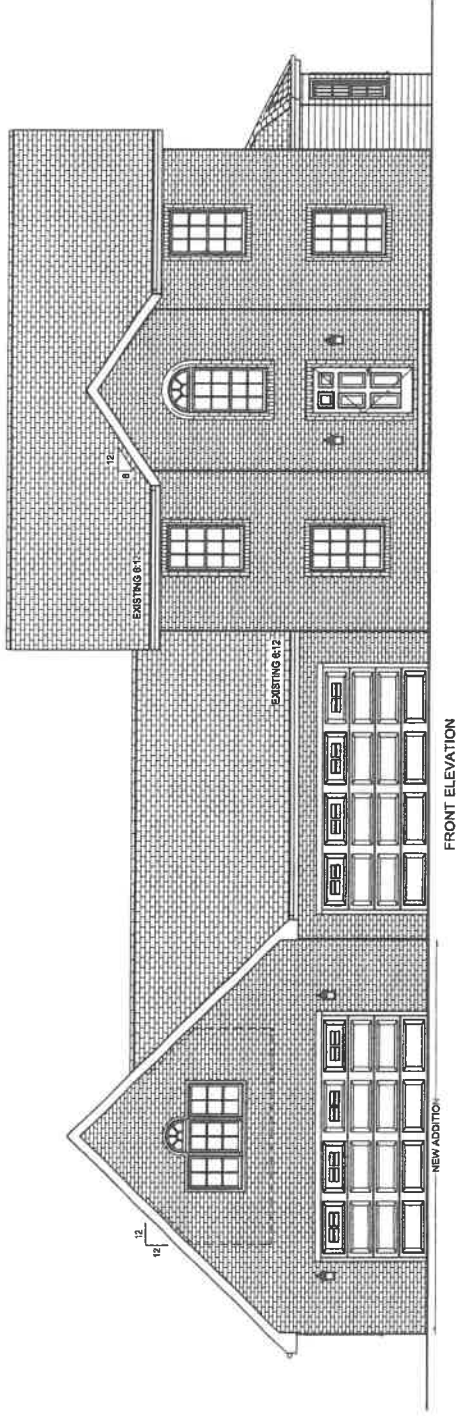
THE MOEHLE RESIDENCE

REMODEL / ADDITION PROJECT FOR

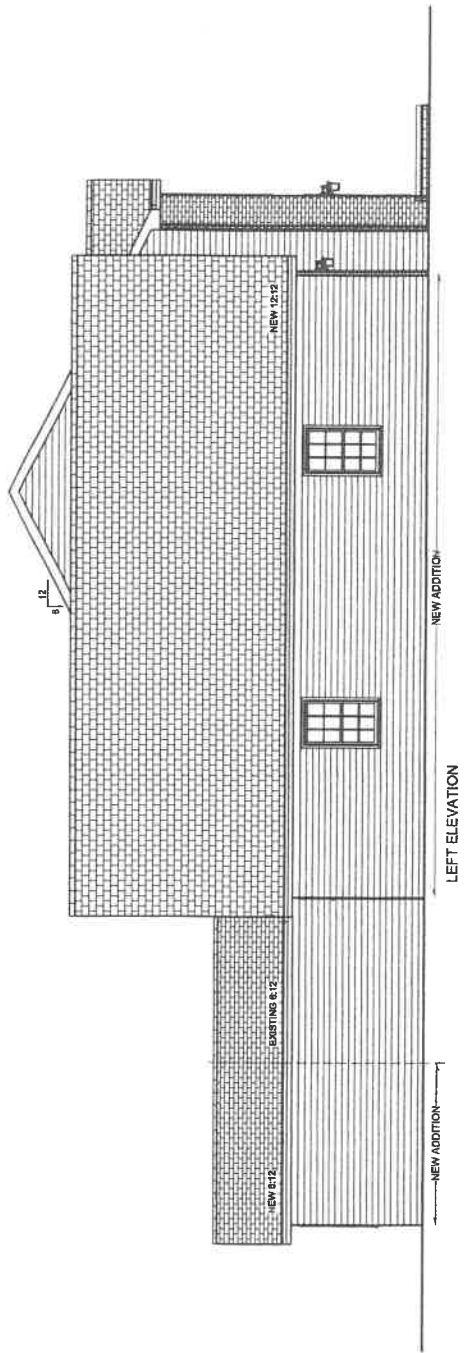
HEINOLD HOMES

CLIENT/CONTRACTOR

DATE: 3/15/2017
SCALE: 1/8" = 1'-0"



FRONT ELEVATION



LEFT ELEVATION

FINAL PLAN