



Memo

TO: Public Works Committee
FROM: Ed Andrews, Public Works Director
DATE: September 28, 2018
SUBJECT: Water Tower #1 – Painting

In the current budget FY18/19, painting of Water Tower #1 (WT#1) has been budgeted. In late 2016, the City was approached by Verizon for the installation of an additional antenna array on the WT#1. Final plans for this work were received in early 2017, but to-date the work has not progressed. The painting of the tower was originally planned to occur after this installation since Verizon had committed to also remove the old Nextel array when they did their install.

Staff has had made a number of inquires and have not received a definite timeline on when this work might advance. An informal discussion with Landmark Leasing felt that it would not be a requirement to wait on Verizon at this point.

While the most recent round of tower inspections in Fall of 2015 found the coatings to be in good condition, we would still want to target a 10 to 12-year frequency in-between painting.

cc: File

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PREPARED BY: MHR 10-10-16
 1. 10-11-16
 2. 10-11-16
 3. 10-11-16
 4. 10-11-16
 5. 10-11-16

SITE NAME:
DT

WASHINGTON

SHEET NAME
ENLARGED

SITE PLAN

SHEET NUMBER
C-2

JOB NUMBER
 9016-26-03-149-03

THE PROPOSED EQUIPMENT SHED HAS BEEN OBTAINED BY DRAWINGS FROM PERIODIC AS A PRE-ASSEMBLED SHED. REFER TO RETURNING FURTHER DETAILS.



0 10 20
 SCALE
 FEET

CALL JULIE
 BEFORE ANY EXCAVATION
 1-800-692-0123

BENCHMARK DATUM

LOCATION: CHECKED CORDS AT THE N.E. CORNER OF CONCRETE DOCK
 DATUM: 724.72

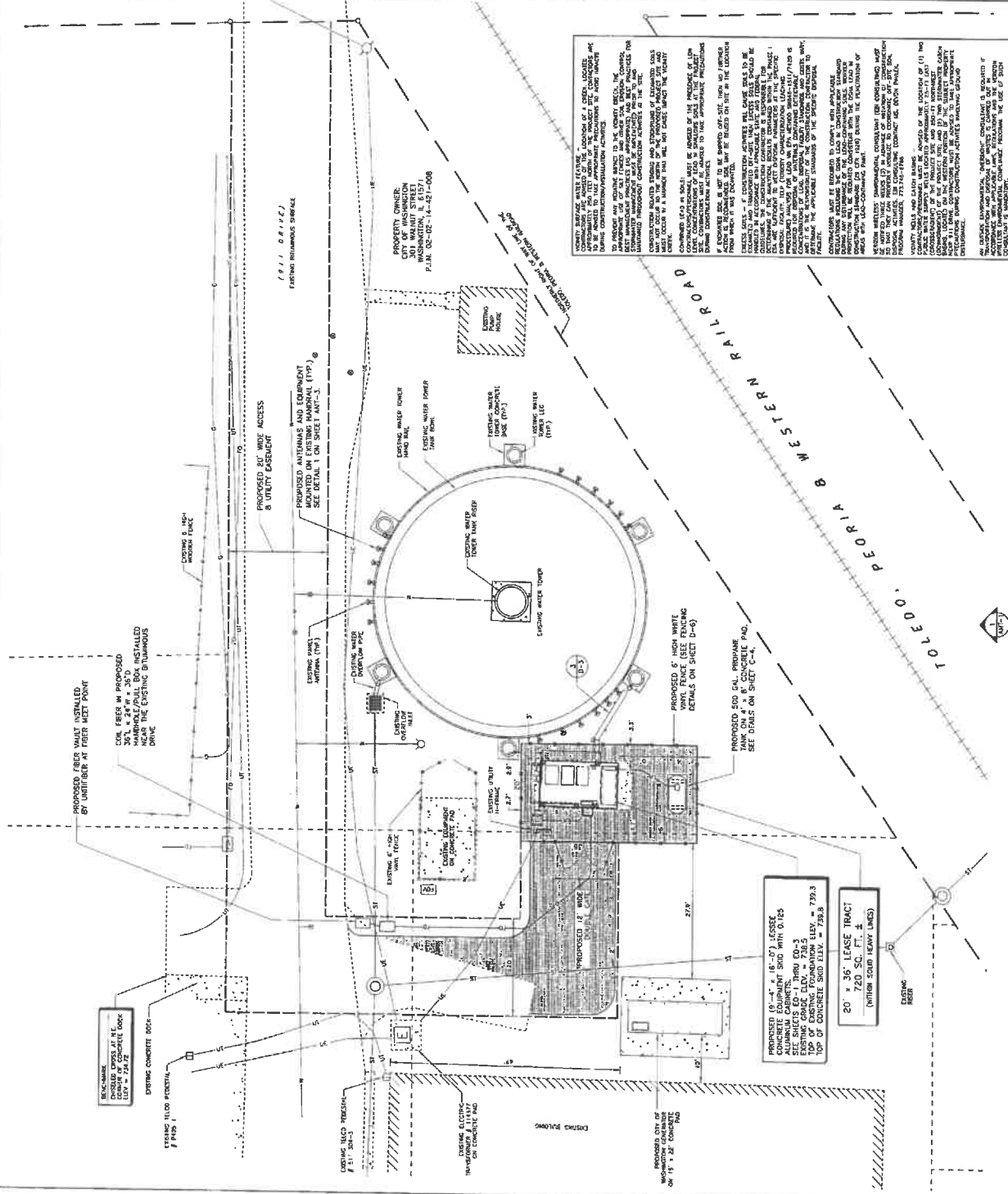
GENERAL NOTES

1. SEE SHEET C-1 FOR LEGEND.
2. TOWER PLANS, SHED PLANS, GRADING PLANS AND ANTENNA PLANS SHALL BE SUBMITTED TO THE CITY OF PEORIA FOR REVIEW AND APPROVAL. THE CITY OF PEORIA SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
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CONTRACTOR NOTES

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ENLARGED SITE PLAN
 SCALE: 1" = 40'



PROPOSED (10'-4" x 16'-0") LEASE TRACT
 EQUIPMENT SHED WITH 0.125
 SITE SHEETS (D-1) thru (D-3)
 TOP OF EXISTING FOUNDATION ELEV. = 729.3
 TOP OF CONCRETE SHED ELEV. = 729.8

20' x 35' LEASE TRACT
 720 SQ. FT. ±
 (WITHIN EXISTING LEASE LINES)



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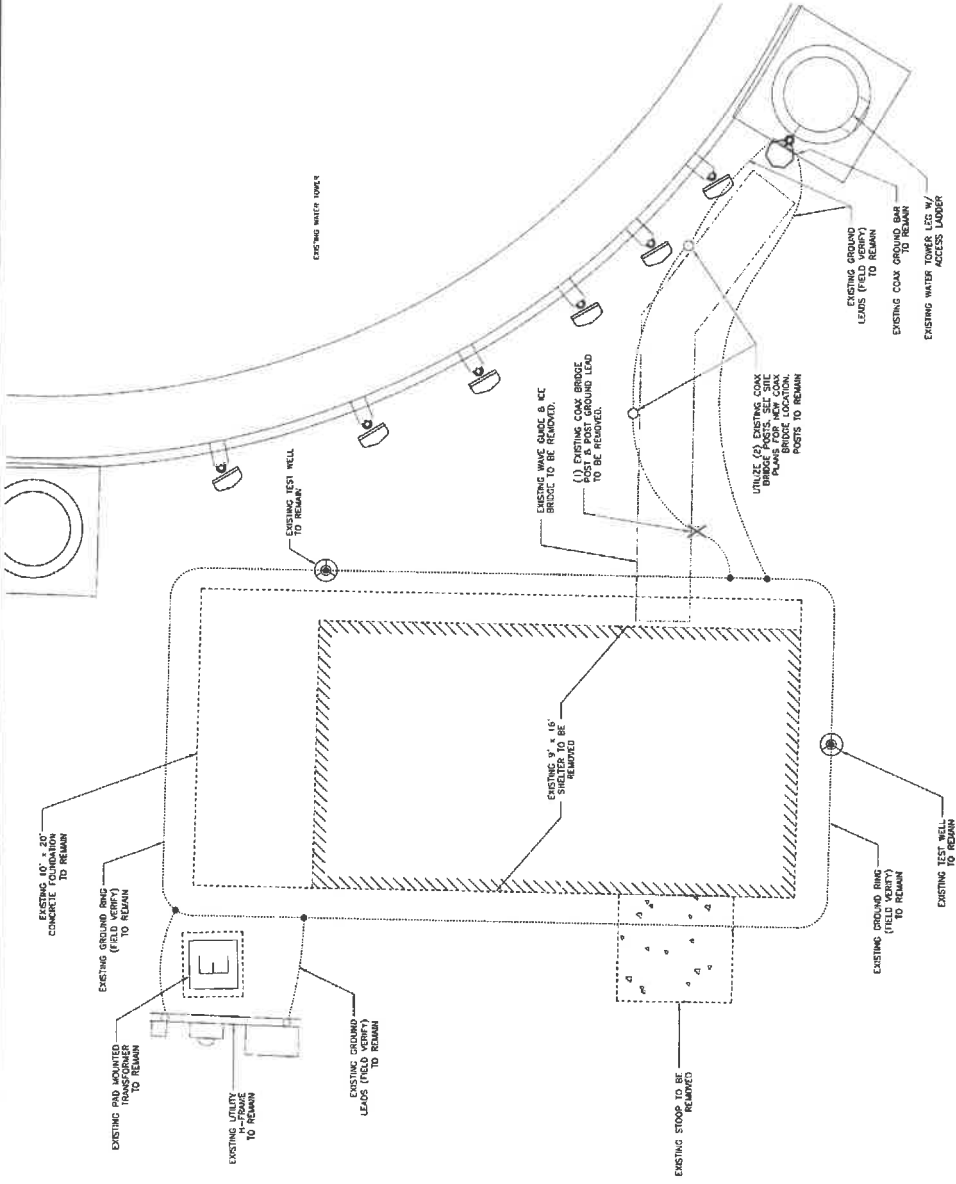
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2	10-26-16	POWERED PLATFORM TO CONCRETE SPOD	
3	01-30-17	APPEALS TO TOP CONGRAT A. MASON STONE	

SITE NAME:
DT
WASHINGTON

SHEET NAME
DEMOLITION
PLAN AND
NOTES

SHEET NUMBER
C-2.1

JOB NUMBER
9815-26-03-14B-03



DEMOLITION PLAN

SCALE: 1" = 2'

The diagram shows a rectangular structure with a horizontal dimension of 4 feet and a vertical dimension of 2 feet. A scale bar is located below the structure, indicating a scale of 1 inch equals 2 feet.

CALL J.V.L.I.E.
BEFORE ANY EXCAVATION
1-800-892-0123

DEMOLITION/REMOVAL NOTES:

- [illegible]

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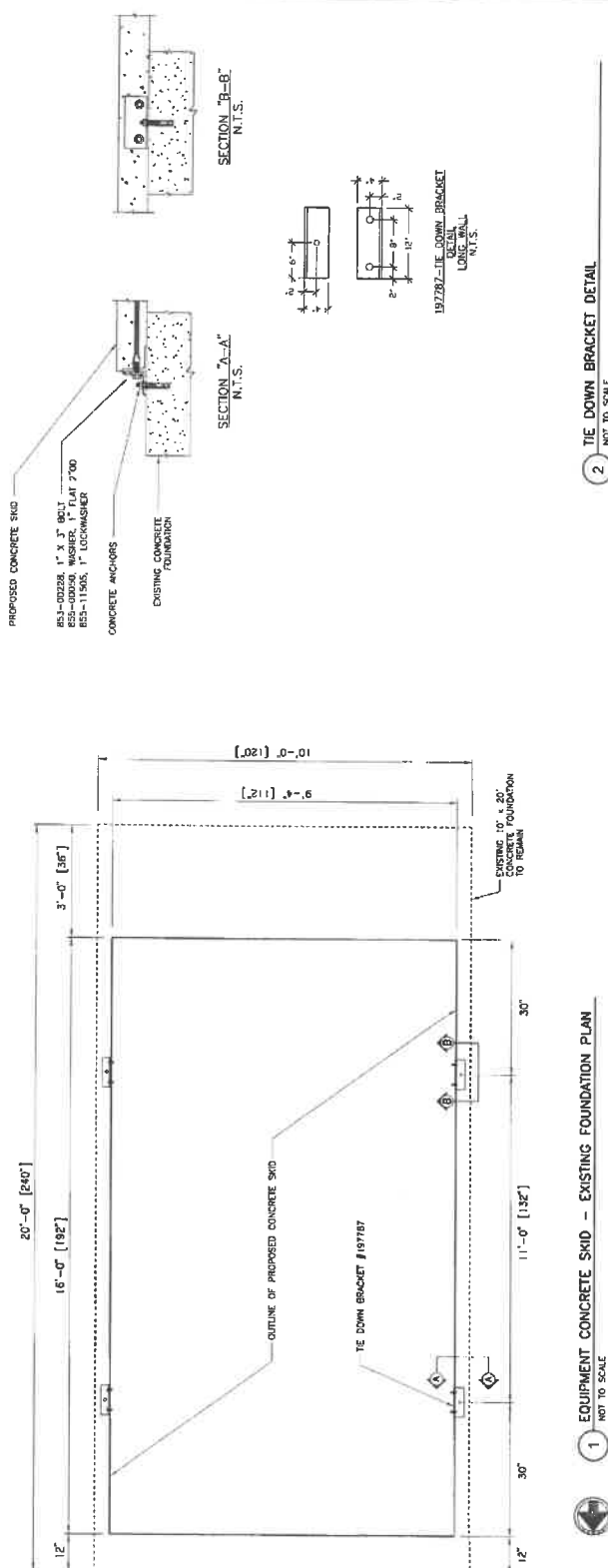
PREPARED BY: JRM	10-10-14
1. 10-10-14	REVISED TO: 10-10-14
2. 01-10-17	REVISED TO: 01-10-17
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SITE NAME:
DT
WASHINGTON

SHEET NAME
EQUIPMENT CONCRETE SKID
FOUNDATION PLAN

SHEET NUMBER
C-3

JOB NUMBER
 9816-26-03-146-03



1 EQUIPMENT CONCRETE SKID - EXISTING FOUNDATION PLAN
 NOT TO SCALE

2 TIE DOWN BRACKET DETAIL
 NOT TO SCALE

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PREPARED BY: JEN
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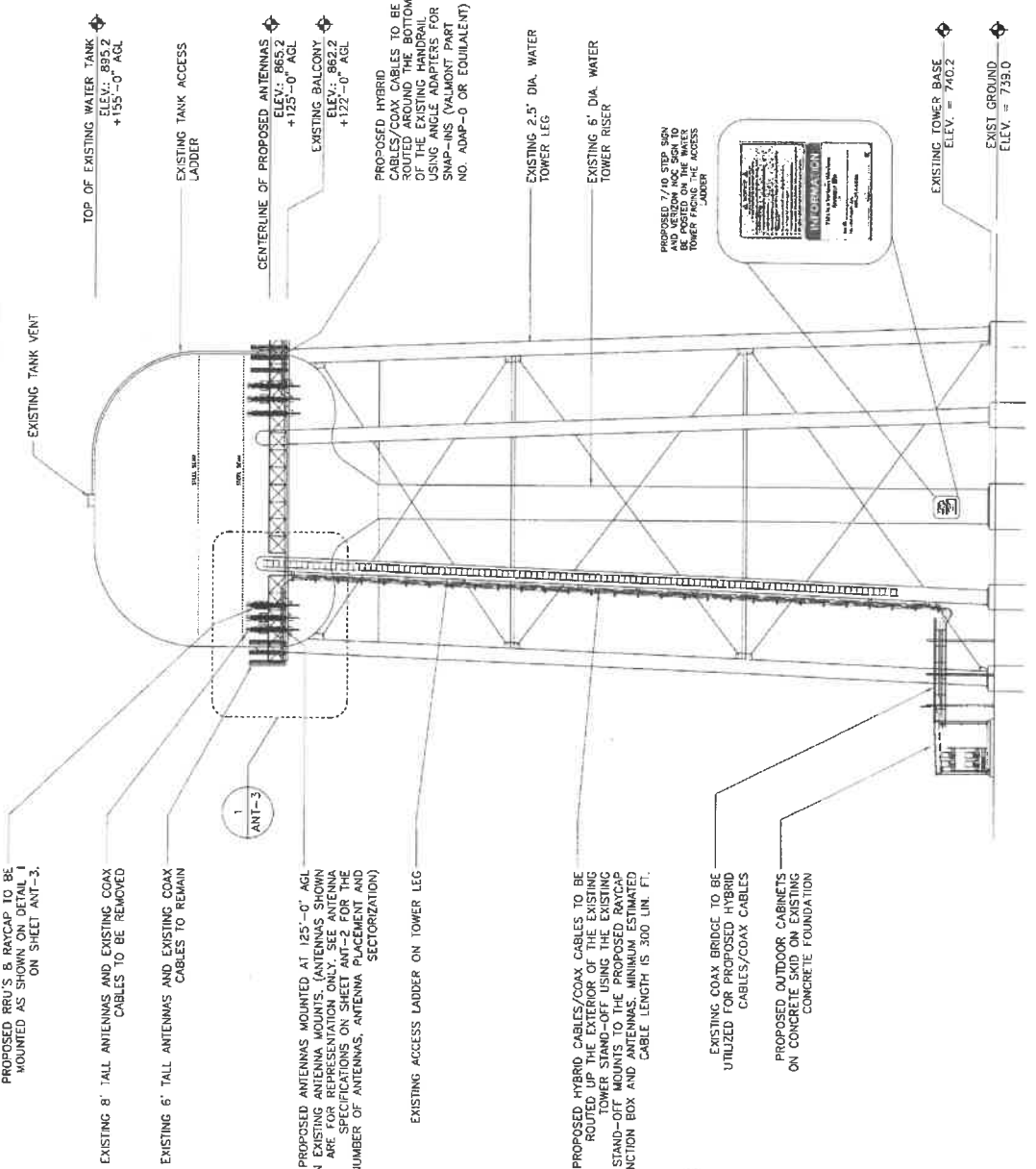
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ALL COAX CABLES, BRACKETS, MOUNTS AND HARDWARE SHALL BE PAINTED TO MATCH THE EXISTING WATER TOWER. SEE PAINT SPECIFICATIONS ON SHEET PS-1.

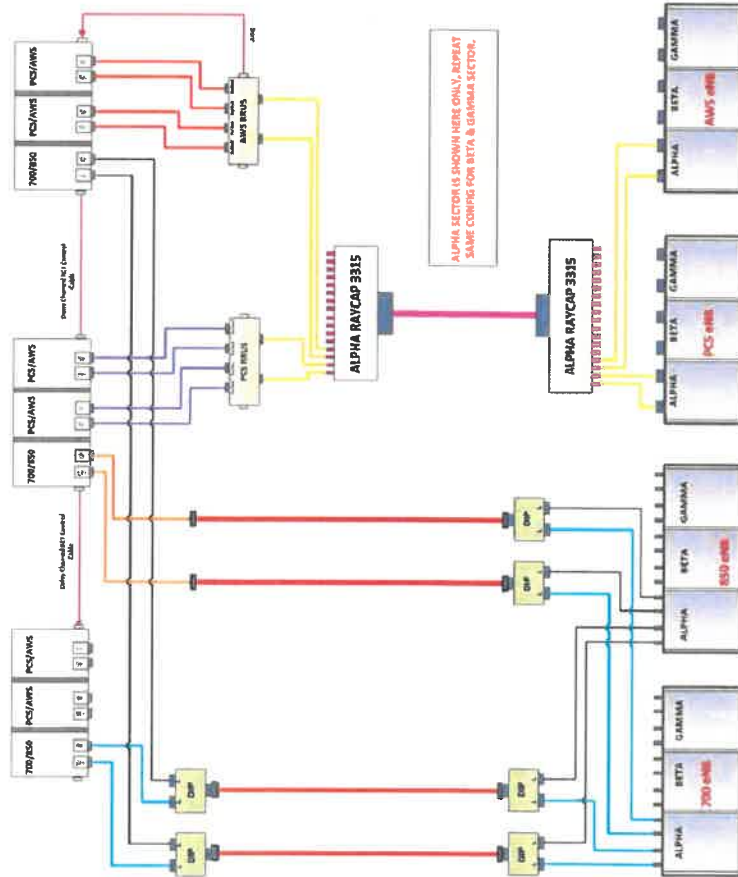


CONTRACTOR TO USE EXISTING CAUTION WHEN WORKING IN OTHER UTILITY AREAS. A JEE LOCATE MUST BE OBTAINED PRIOR TO ANY EXCAVATION ACTIVITY.

- NOTES:**
1. VERIFY EACH COAXIAL CABLE LENGTH, ROUTING AND ALL MOUNTING APPURTENANCES WITH OWNER PRIOR TO ORDERING.
 2. THE MINIMUM COAXIAL CABLE LENGTH HAS BEEN ESTIMATED AT 200' FEET EACH WITH A CORRESPONDING CABLE DIAMETER AS SHOWN ON SHEET ANT-2. THIS CABLE LENGTH IS APPROXIMATE MINIMUM LENGTH AND MUST BE VERIFIED.
 3. TAG ALL MAIN CABLES (LABELLED ACCORDING TO SPICES) AT FOUR (4) LOCATIONS:
 - A. 10' TAG ON THE BOTTOM 1/4" OF COAXIAL CABLE AT JUNCTION POINT
 - B. 10' TAG ON THE BOTTOM MAIN LINE AT JUNCTION POINT
 - C. 10' TAG ON THE TOP MAIN LINE NEAR THE MAIN CONNECTOR
 - D. 10' TAG ON THE TOP 1/4" OF COAXIAL CABLE AT JUNCTION POINT
 4. CONTRACTOR TO VERIFY TAGS ON THE MAIN CABLES USING A MORE PERMANENT METHOD THAN THE ABOVE LISTED METHODS.
 5. THE FLOOR DECKERS AND JOIST BALANCE IS TO BE USED TO THE EXTENT POSSIBLE. THE JOIST BALANCE IS TO BE USED TO THE EXTENT POSSIBLE.
 6. EACH COAX SHALL BE SUPPORTED COLUMN GRP (CHANCE FINDER GRP) HUNG FROM A J-HOOK AT TOP OF TOWER (10' ABOVE FOR LATRUE TOWER).
 7. EACH COAX SHALL BE GROUNDED AT THREE (3) LOCATIONS:
 - A. TOWER PLATFORM OR FRAME
 - B. TOWER BASE
 - C. OUTSIDE EQUIPMENT PLATFORM UNDER ROOF CANOPY
 8. COAXIAL CABLES TO BE SUPPORTED EVERY 3'-0" ON PLATFORM OR FRAME WITH STAINLESS STEEL HANGERS.
 9. COAXIAL CABLES TO BE SUPPORTED EVERY 16" WITH STAINLESS STEEL HANGERS.
 10. ANTENNA CONTRACTOR RESPONSIBLE FOR FABRICATION ENCLOSURE HANGERS.
 11. COAX TYPE WILL BE ANT-50 AIR FOAM DIELECTRIC CABLE FROM MOORE TO REPLACE THE OLDER LST-50 CABLE.
 12. THE CONTRACTOR SHALL USE PPC CONNECTORS ONLY NO ANTISET CONNECTORS SHALL BE USED.

ELEVATION -- LOOKING NORTH
NOT TO SCALE

Passive Components	Proposed			
	Manufacturer	Component Model	Count	Action
C03X	Location			
	Temp (P1)			
	Temp (P2)			
	Temp (P3)			
	Temp (P4)			
	Temp (P5)			
	Temp (P6)			
	Temp (P7)			
	Temp (P8)			
	Temp (P9)			
Passive Components	Resistor (10k)	RODUC-3015-PF-48	1	Install
	Resistor (10k)	RODUC-3015-PF-48	12	Install
	Capacitor (100nF)	RODUC-3015-PF-48	1	Install
	Capacitor (100nF)	RODUC-3015-PF-48	12	Install
	Capacitor (100nF)	RODUC-3015-PF-48	1	Install
	Capacitor (100nF)	RODUC-3015-PF-48	12	Install
	Capacitor (100nF)	RODUC-3015-PF-48	1	Install
	Capacitor (100nF)	RODUC-3015-PF-48	12	Install
	Capacitor (100nF)	RODUC-3015-PF-48	1	Install
	Capacitor (100nF)	RODUC-3015-PF-48	12	Install



ANTENNA LINE/PLATFORM SCHEMATIC

NOT TO SCALE

EQUIPMENT CHANGE REQUEST FORM-ECR

[illegible]

TOWERS NOTES:

1. COAX LADDER OR BRACKETS AND HARDWARE WILL NEED TO BE PROVIDED AND INSTALLED BY GENERAL CONTRACTOR
2. IT IS THE INSTALLING CONTRACTORS RESPONSIBILITY TO VERIFY ALL ANTENNA INFORMATION AGAINST FINAL RADIO ENGINEERING PLAN PROVIDED BY OTHERS.

ANTENNA SCHEMATIC

NOT TO SCALE

**CELLCO
PARTNERSHIP, D.B.A.
VERIZON WIRELESS**

REAL ESTATE MANAGER:
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CONSTRUCTION MANAGER:
RON PAULY
500 TECHNOLOGY DRIVE
2ND FLOOR
WELDON SPRING, MO 63304
OFFICE: (636) 793-9278



CONSOLIDATED LAND SURVEYORS
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**LAND SURVEYORS
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FAX: 309-692-3433

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10-10-18

SITE NAME: _____
DT
WASHINGTON

SHEET NAME
ANTENNA
INFORMATION

SHEET NUMBER
ANT-2

JOB NUMBER
8816-28-03-148-03

Diagram illustrating the proposed lesser dual antenna system. The diagram shows a horizontal mast pipe with a whip antenna attached. Labels indicate the antenna is extended, waters ground, and is mounted to a ground area of 11'. The antenna is supported by a singer support, and a metal strap-shift antenna is shown. The antenna is 1/2 inch up of cable.



DIPLER
ANDREW CSC#76-9003

REMOTE RADIO UNIT:
ERICSSON PART # RRU5 B13 (700)
DIMENSIONS: 60" x 19.0" x 7.2" (H x W x D)
WEIGHT: 51 LBS



MAST PIPE

1000

RAYCAP SURGE PROTECTOR
MODEL # RSCAP-2515-11F-4B

[illegible]

THE EXISTING STRUCTURAL REPORT DATED SEPTEMBER 29, 2018 INDICATES THAT THE EXISTING ANTENNA SUPPORT STRUCTURE IS NOT DESIGNED TO SUPPORT THE PROPOSED ANTENNAS AND EQUIPMENT. SEE STRUCTURAL REPORT FOR FURTHER DETAILS.

WAST FOLE MOUNTING

NOT TO SCALE

--	--

4

[illegible]

27066211 (2004)

Table 2 (continued)

[illegible]

ANTENNA & EQUIPMENT MOUNTING

CELCO
PARTNERSHIP, D.B.A.
VERIZON WIRELESS

REAL ESTATE MANAGER:
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1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466
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[illegible]

SITE NAME: **DT**
WASHINGTON

SHEET NAME
ANTENNA
INFORMATION

SHEET NUMBER
ANT-3

JOB NUMBER
9816-25-03-14E-03

COLCO PARTNERSHIP, D.B.A. VERIZON WIRELESS
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 1300 W. COMMERCE DR. STE. 200
 FLORENCE, ILLINOIS 61115
 AND PROFESSIONAL SURVEYING
 PHONE: 309-822-3434
 FAX: 309-822-3435
 VERIZON WIRELESS PROJECT NO. 03-00000000

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PREPARED BY: WBS
 10-10-16

SITE NAME:
DT WASHINGTON

SHEET NAME
ANTENNA INFORMATION

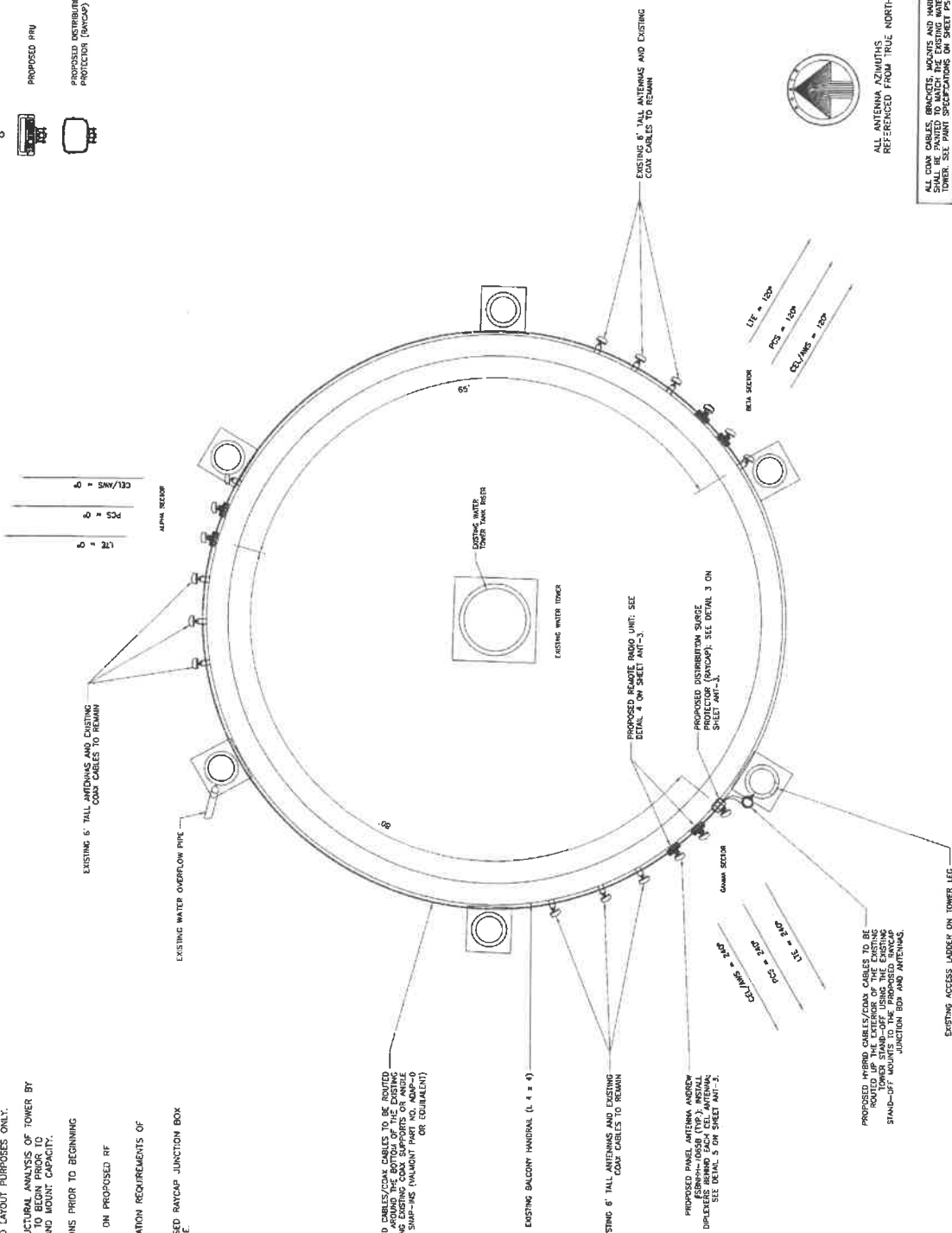
SHEET NUMBER
ANT-4

JOB NUMBER
 9916-26-03-148-03

LEGEND



APPROXIMATE HYBRID CABLE LENGTHS:
 148 L.F. FROM PROPOSED SWAN SECTION RATCHAP TO BETA SECTION
 88 L.F. FROM PROPOSED SWAN SECTION RATCHAP TO ALPHA SECTION
 178 L.F. FROM PROPOSED BETA SECTION RATCHAP TO SWAN SECTION RATCHAP



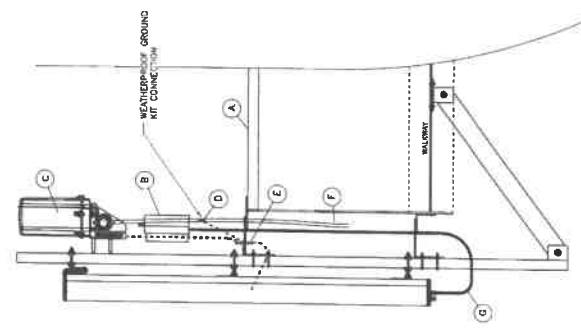
- NOTES:**
1. THIS DRAWING IS FOR SCHEMATIC AND LAYOUT PURPOSES ONLY.
 2. FINAL ANTENNA LAYOUT PENDING STRUCTURAL ANALYSIS OF TOWER BY OTHERS. NO ANTENNA OR LINE WORK TO BEGIN PRIOR TO CONFIRMATION OF ADEQUATE TOWER AND MOUNT CAPACITY.
 3. G.C. TO VERIFY ANTENNA SPECIFICATIONS PRIOR TO BEGINNING ANTENNA WORK.
 4. REFER TO SHEET ANT-2 FOR DETAILS ON PROPOSED RF CONFIGURATION.
 5. REFER TO SHEET ANT-3 FOR INSTALLATION REQUIREMENTS OF ANTENNAS AND EQUIPMENT.
 6. G.C. TO ORIENT & PLACE THE PROPOSED RATCHAP JUNCTION BOX CLOSEST TO THE HYBRID CABLE ROUTE.

ALL ANTENNA ASSEMBLIES
 REFERENCED FROM TRUE NORTH

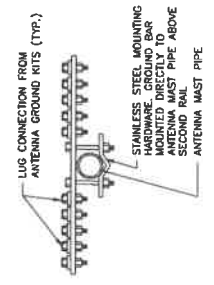
ALL COAX CABLES, BRACKETS, MOUNTS AND HARDWARE
 SHALL BE PAINTED TO MATCH THE EXISTING WATER
 TOWER. SEE PAINT SPECIFICATIONS ON SHEET PS-1.

PROPOSED ANTENNA LAYOUT
 NO SCALE

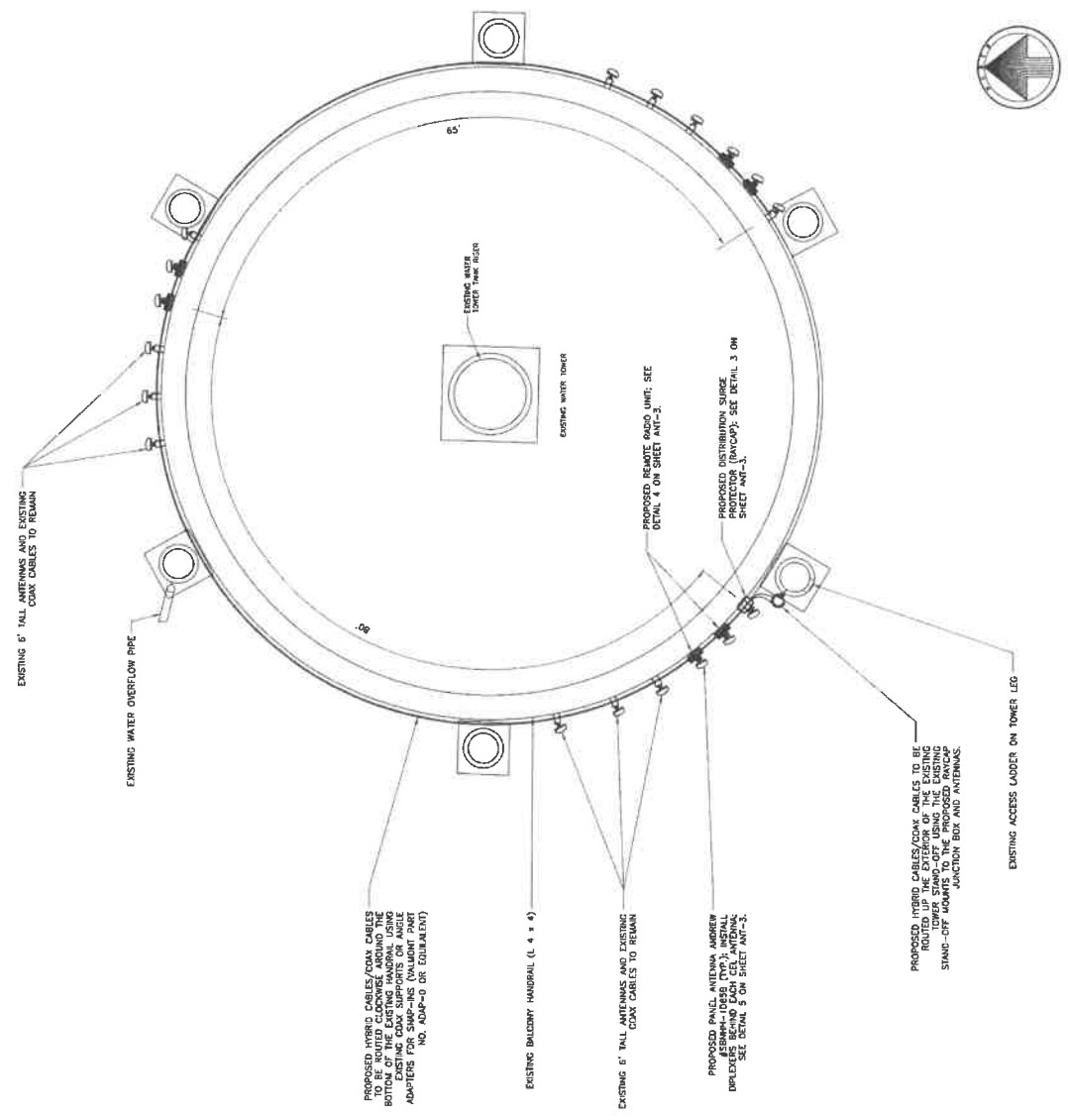
- A WATER TOWER HANDRAIL
- B REMOTE RADIO UNIT, GROUND WITH #2 STRANDED INSULATED GROUND LEAD
- C DISTRIBUTION SURGE PROTECTOR, GROUND WITH #2 STRANDED INSULATED GROUND LEAD
- D #6 INSULATED THINWALL COPPER CABLE, 1500V, 1/2" DIA., 1500V-1500V-1 OR EQUIVALENT, GROUND DIRECTLY TO WASTEWATER TOWER
- E UPPER ANTENNA GROUND BAR, MOUNT GROUND BAR DIRECTLY TO WAST PIPE
- F CABLE, MAINTAIN MINIMUM BEND RADIUS
- G JUMPER, MAINTAIN MINIMUM BEND RADIUS



PROPOSED ANTENNA/EQUIPMENT GROUNDING PROFILE
NO SCALE



PROPOSED ANTENNA/PIPE MAST GROUND BAR
NO SCALE



ALL COAX CABLES, BRACKET, JOINTS, AND MOUNTING SHALL BE PAINTED TO MATCH THE EXISTING WATER TOWER. SEE PART SPECIFICATIONS ON SHEET PS-1.

PROPOSED ANTENNA / PIPE MAST GROUNDING
NO SCALE

COLLOID PARTNERSHIP, D.B.A. VERIDON WIRELESS
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PROFESSIONAL ENGINEER NO. 06-000000

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SITE NAME:
DT WASHINGTON

SHEET NAME
ANTENNA INFORMATION

SHEET NUMBER
ANT-5

JOB NUMBER
9816-26-03-148-03

**CELCO
PARTNERSHIP, D.B.A.
VERIZON WIRELESS**

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1515 EAST WOODFORD RD.
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CONSTRUCTION MANAGER:
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2ND FLOOR
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PREPARED BY: WDH 10-10-10

DATE RECEIVED	4-1-76	1
BY THE FOLLOWING OFFICER		

[illegible]

SITE NAME:

DT

WASHINGTON

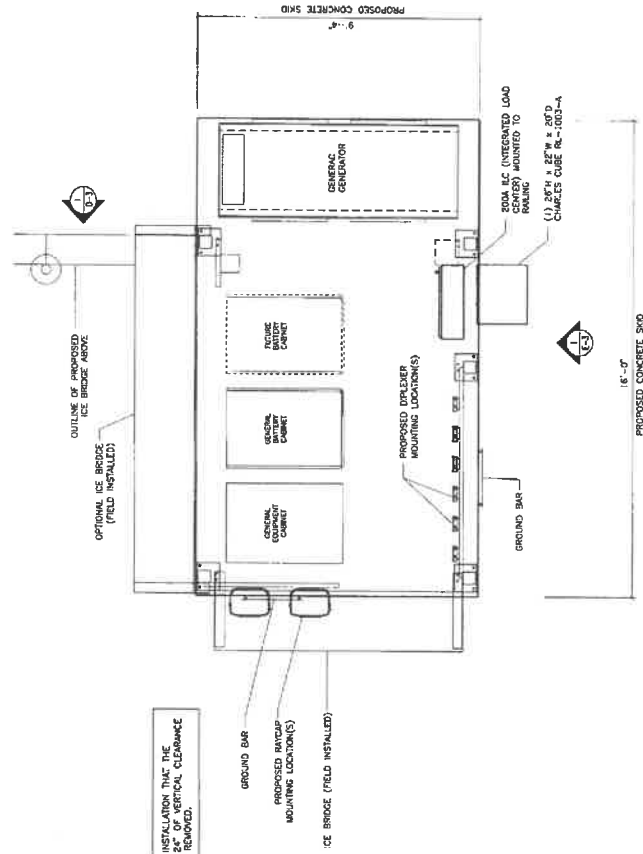
**SHEET NAME
EQUIPMENT
CONCRETE SKID
FLOOR DIMENSION
PLAN**

SHEET NUMBER

10
C
Ш

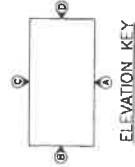
JOB NUMBER	DATE	TIME	LOCATION	DESCRIPTION	REMARKS
101	10/10/2023	08:00	Site A	Initial survey	Good weather, clear sky
102	10/10/2023	09:30	Site B	Soil sampling	Sample collected at 1m depth
103	10/10/2023	11:00	Site A	Water level measurement	Level at 1.2m
104	10/10/2023	13:30	Site C	Vegetation assessment	Low density, mostly grass
105	10/10/2023	15:00	Site B	Temperature recording	25.5°C
106	10/10/2023	16:30	Site A	Final survey	Good weather, clear sky

9816-26-C3-148-03



CONTRACTOR TO VERIFY PRIOR TO INSTALLATION THAT THE RAYCAP JUNCTION BOX WILL HAVE 24" OF VERTICAL CLEARANCE TO ALLOW FOR THE COVER TO BE REMOVED.

THE PROPOSED EQUIPMENT SCD HAS BEEN OBTAINED BY DRAWINGS FROM FIBERBOND AS A PRE-ASSEMBLED SCD. REFER TO FIBERBOND DRAWING NO. D10667 FOR REQUIRED FIELD WORK ASSEMBLY AND FURTHER DETAILS.



EQUIPMENT CONCRETE SKID FLOOR DIMENSION PLAN
NO SCALE

CELCO
PARTNERSHIP, D.B.A.
VERIZON WIRELESS

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PROFESSIONAL ENGINEER REG. NO. 14-000014

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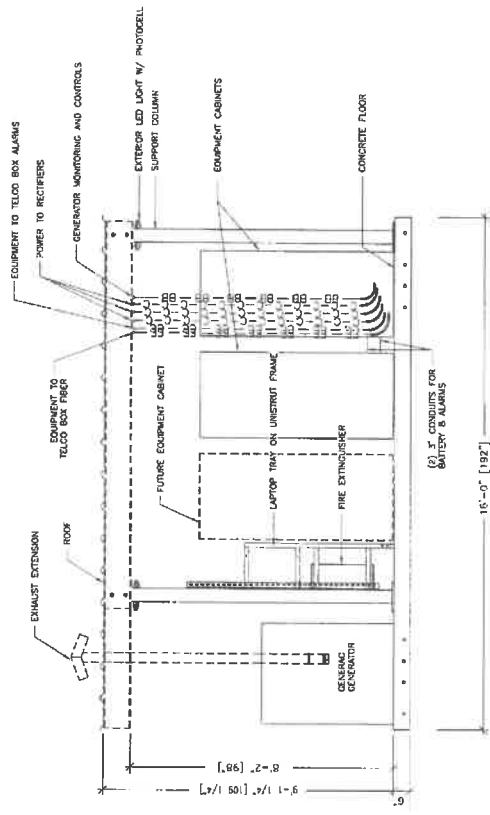
PREPARED BY: JPH	DATE: 10-10-16
1	10-10-16
	REVISIONS TO CONCRETE SKID

SITE NAME:
**DT
WASHINGTON**

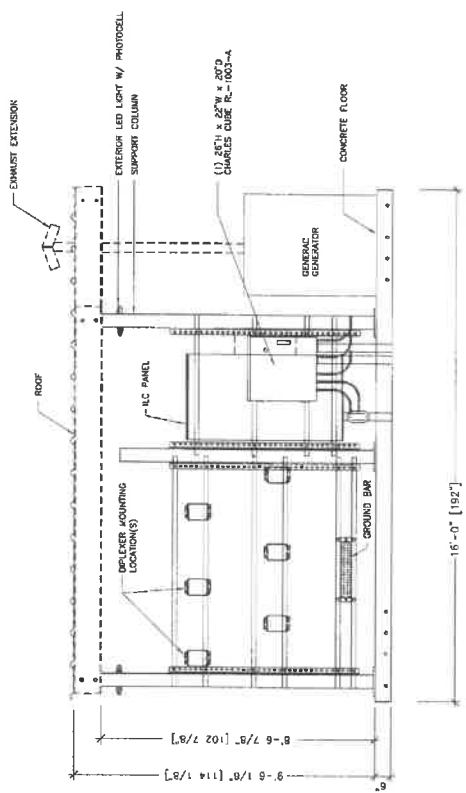
SHEET NAME
**EQUIPMENT
CONCRETE SKID
ELEVATIONS**

SHEET NUMBER
EQ-2

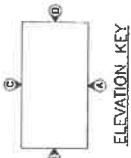
JOB NUMBER
5816-28-03-148-03



ELEVATION "C"



ELEVATION "A"



NOT TO SCALE

CELLCO
PARTNERSHIP, D.B.A.
VERIZON WIRELESS

REAL ESTATE MANAGER:
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CONSTRUCTION MANAGER:
DANIEL J. WOODWARD
500 TECHNOLOGY DRIVE
2ND FLOOR
MOUNTAIN VIEW, MO 64114
OFFICE: (816) 733-7276

CLS

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LAND SURVEYORS
AND PROFESSIONAL ENGINEERS
STATE OF MISSOURI
EXPIRATION DATE: 12/31/15
OFFICE: (816) 733-7276

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PREPARED BY: NEN (12-12-15)

DESIGNED BY: NEN (12-12-15)

CHECKED BY: NEN (12-12-15)

DATE: 12-12-15

PROJECT: 1515 EAST WOODBURY RD.

CONTRACT NO. 1515

CONTRACT NO. 1515

CONTRACT NO. 1515

CONTRACT NO. 1515

CONTRACT NO. 1515

CONTRACT NO. 1515

CONTRACT NO. 1515

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CONTRACT NO. 1515

CONTRACT NO. 1515

CONTRACT NO. 1515

CONTRACT NO. 1515

CONTRACT NO. 1515

ELEVATION "C"

ELEVATION "B"



ELEVATION KEY

NOT TO SCALE

**CELCO PARTNERSHIP, D.B.A.
VERIDION WIRELESS**
REAL ESTATE MANAGER
1015 EAST WOODFIELD RD.
SCHAMBERG, IL 60173
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CONSTRUCTION MANAGER
500 TECHNOLOGY DRIVE
7ND FLOOR
SCHAUMBURG, IL 60196
OFFICE: (848) 733-3278

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CONSOLIDATED LAND SURVEYING
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SCHAUMBURG, IL 60196
LAND SURVEYORS
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WEBSITE: WWW.CLS-SURV.COM

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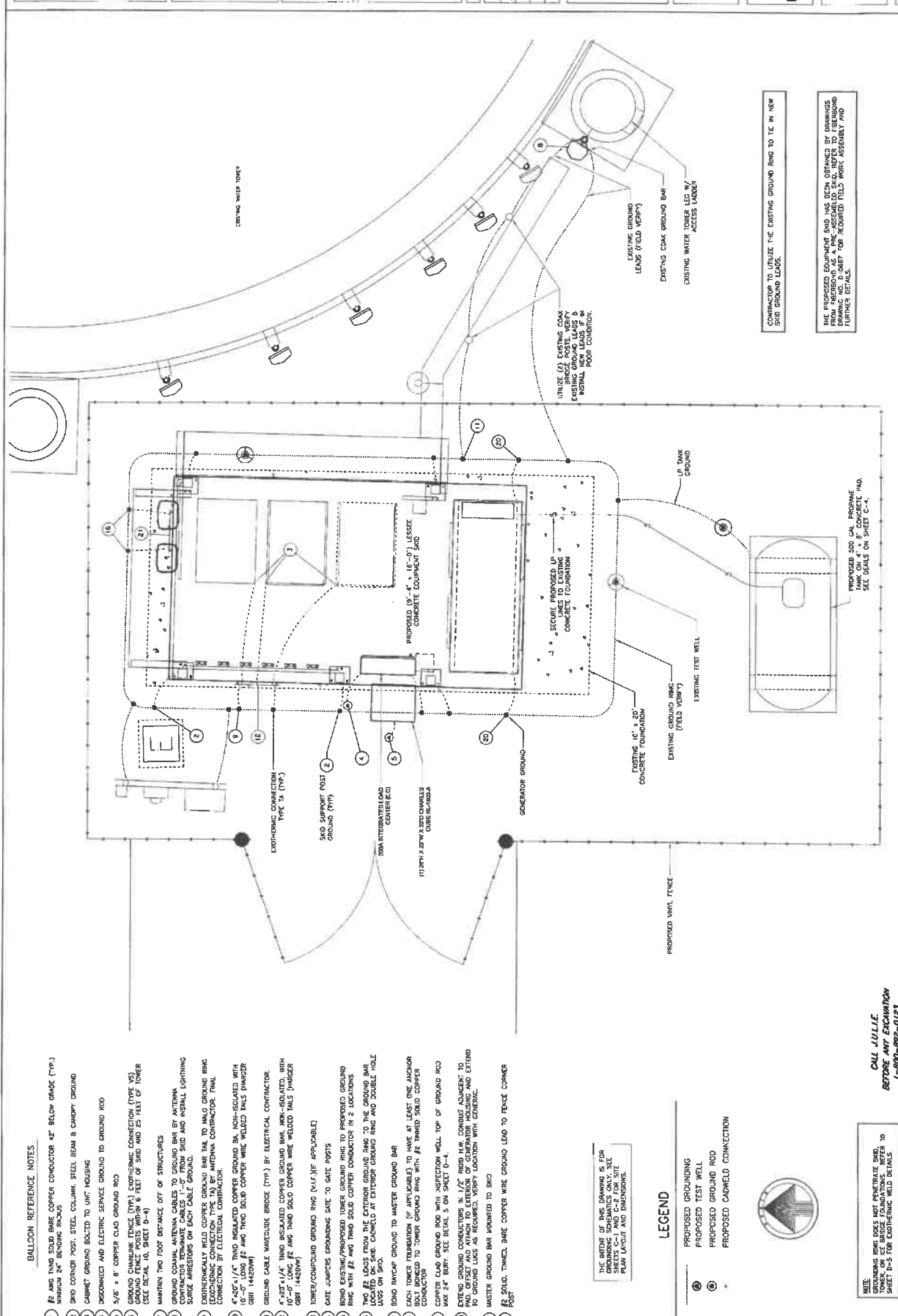
PREPARED BY: 10-15-15
DRAWN BY: 10-15-15
CHECKED BY: 10-15-15
APPROVED BY: 10-15-15
DATE: 10-15-15
SHEET NO. 1 OF 1

SITE NAME:
**DT
WASHINGTON**

SHEET NAME
**SITE GROUNDING
PLAN AND NOTES**

SHEET NUMBER
D-1

JOB NUMBER
9816-26-03-149-03



BALLOON REFERENCE NOTES

1. #2 AWG TYPED SOLID BARE COPPER CONDUCTOR 42" BELOW GRADE (TYP.) MINIMUM 24" BENDING RADIUS
2. SHED CORNER POST, STEEL COLUMN, STEEL BEAM & CANOPY GROUND
3. GROUNDING ROD BOLTED TO UNIT HOUSING
4. DISCONNECTED AND ELECTRIC SERVICE GROUND TO GROUND ROD
5. 3/8" x 8" COPPER CLAD GROUND ROD
6. GROUND CHIMNEY FENCE (TYP.) EXTERIOR CONNECTION (TYPE V5) (SEE DETAIL 10, SHEET D-4)
7. MAINTAIN TWO FOOT DISTANCE OFF OF STRUCTURES
8. GROUND COAXIAL ANTENNA CABLES TO GROUND BAR BY ANTENNA CONTRACTOR TERMINATE CABLES 1'-0" FROM SHED AND INSTALL LIGHTNING SURGE ARRESTORS ON EACH CABLE GROUND.
9. EXTERIORLY WELD COPPER GROUND BAR TAIL TO MAJOR GROUND RING (EXTERIOR CONNECTION TYPE 1A) BY ELECTRICAL CONTRACTOR. FINAL CONNECTION TO BE MADE BY ELECTRICAL CONTRACTOR.
10. 1/2" TYPED TYPED INSULATED COPPER CONDUCTOR (TYP.) NON-RELATED WITH 10'-0" LONG #2 AWG TYPED SOLID COPPER WIRE WELDED TAILS (14420W) (SEE DETAIL 10, SHEET D-4)
11. GROUND CABLE WATERTIGHT BRIDGE (TYP.) BY ELECTRICAL CONTRACTOR.
12. 1/2" TYPED TYPED INSULATED COPPER CONDUCTOR (TYP.) NON-RELATED WITH 10'-0" LONG #2 AWG TYPED SOLID COPPER WIRE WELDED TAILS (14420W) (SEE DETAIL 10, SHEET D-4)
13. TOWER/COMPOUND GROUND RING (N/F IF APPLICABLE)
14. GATE JUMPERS GROUNDING SAME TO GATE POSTS
15. BOND EXISTING/PROPOSED TOWER GROUND RING TO PROPOSED GROUND RING WITH #2 AWG TYPED SOLID COPPER CONDUCTOR IN 2 LOCATIONS.
16. TWO #2 LUGS FROM THE EXTERIOR GROUND RING TO THE GROUND BAR (SEE DETAIL 10, SHEET D-4) COUNCIL AT EXTERIOR GROUND RING AND DOUBLE TAIL LUGS ON SHED.
17. BOND RAYCAP GROUND TO MASTER GROUND BAR
18. EACH TOWER FOUNDATION IF APPLICABLE TO HAVE AT LEAST ONE ANCHOR BOLT BORED TO TOWER GROUND RING WITH #2 TYPED SOLID COPPER CONDUCTOR
19. COPPER CLAD GROUND ROD WITH INSPECTION WELL TOP OF GROUND ROD MAX 24" BURIED. SEE DETAIL 5 ON SHEET D-4.
20. EXTERIOR GROUND CONDUCTORS IN 1/2" ROAD R/W. CONDUCTOR ADJACENT TO EXISTING GROUND RING TO BE BORED TO GROUND RING AND EXTEND TO GROUND LUGS AS REQUIRED. VERIFY LOCATION WITH GENERAL.
21. MASTER GROUND BAR MOUNTED TO SHED
22. #2 SOLID, TYPED, BARE COPPER WIRE GROUND LEAD TO FENCE CORNER POST

THE INTENT OF THIS DRAWING IS FOR INFORMATION ONLY. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND LOCATIONS BEFORE ANY EXCAVATION. REFER TO SHEETS C-1 AND C-2 FOR SIZE, PLAN LAYOUT AND DIMENSIONS.

LEGEND

- PROPOSED GROUNDING
- PROPOSED TEST WELL
- PROPOSED GROUND ROD
- PROPOSED CABLED CONNECTION



NOTE:
GROUNDING RING DOES NOT PENETRATE SHED, TOWER OR ICE BRIDGE FOUNDATIONS. REFER TO SHEET D-3 FOR EXTERIOR WELD DETAILS.

CALL JULIE
BEFORE ANY EXCAVATION
1-800-892-0123

SKID GROUNDING SCHEMATIC
SCALE: 1" = 5'

CELCO PARTNERSHIP, D.B.A. VERIZON WIRELESS
REAL ESTATE MANAGER:
 ERIC J. WILSON
 1515 EAST WOODFIELD RD
 SCHAMBERG, IL 60173
 OFFICE: (847) 709-7925

CONSTRUCTION MANAGER:
 KEN FALK
 500 TECHNOLOGY DRIVE
 2ND FLOOR
 BELLEVILLE, ILLINOIS 62209
 OFFICE: (314) 753-7278

CUS CONSOLIDATED LAND SURVEYING
 1300 N. COMMERCE ST., SUITE 700
 MOUNTAIN VIEW, ILLINOIS 61155

LAND SURVEYORS AND PROFESSIONAL ENGINEERS
 PAUL J. CUSACK
 PAUL J. CUSACK
 PAUL J. CUSACK
 ILLINOIS LICENSE NO. 001-00734

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PREPARED BY: HEN 05-10-16
 CHECKED BY: HEN 05-10-16
 DESIGNED BY: HEN 05-10-16
 DATE: 05-10-16

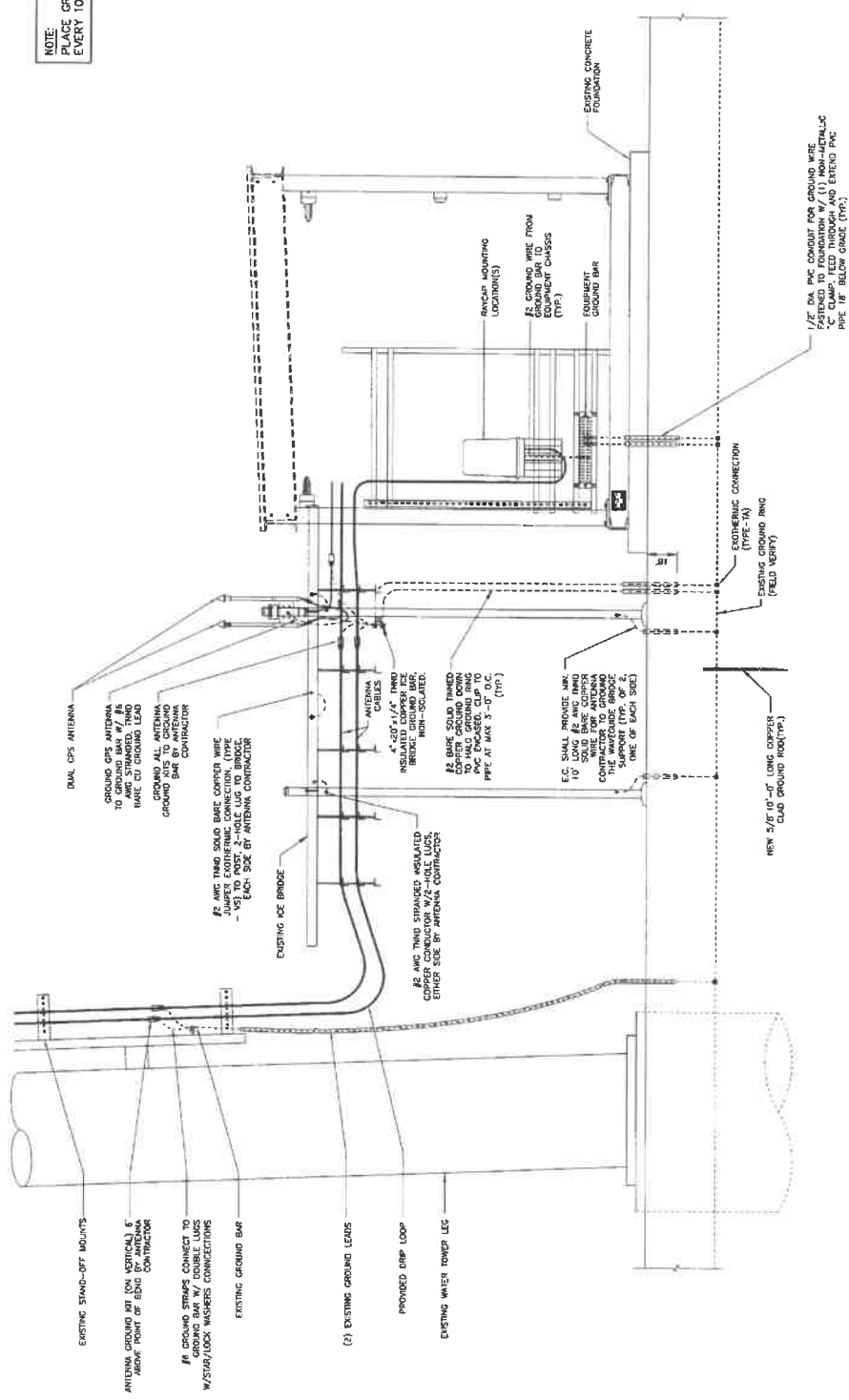
SITE NAME:
DT WASHINGTON

SHEET NAME
SITE GROUNDING PROFILE

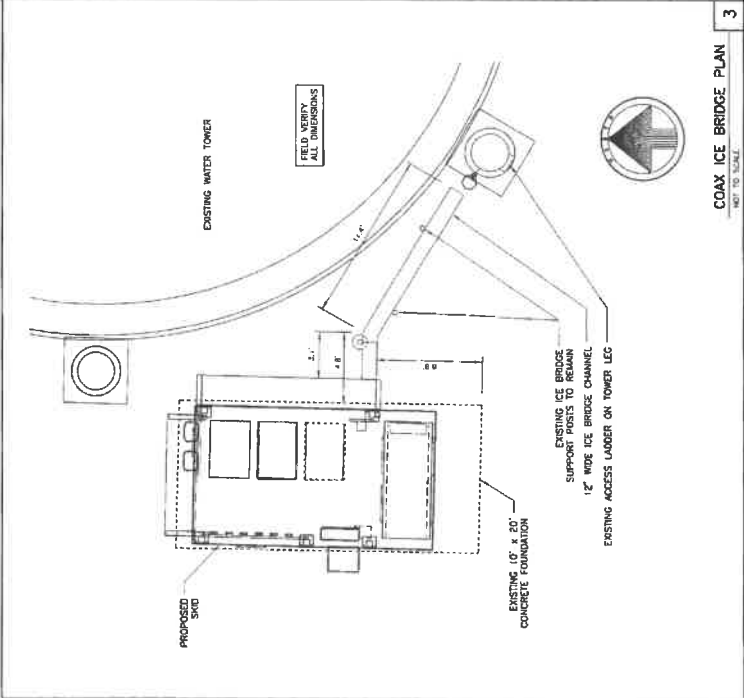
SHEET NUMBER
D-2

JOB NUMBER
 9816-26-03-149-03

NOTE:
 PLACE GROUND BAR HALF WAY OR EVERY 100 FEET ON TOWER.



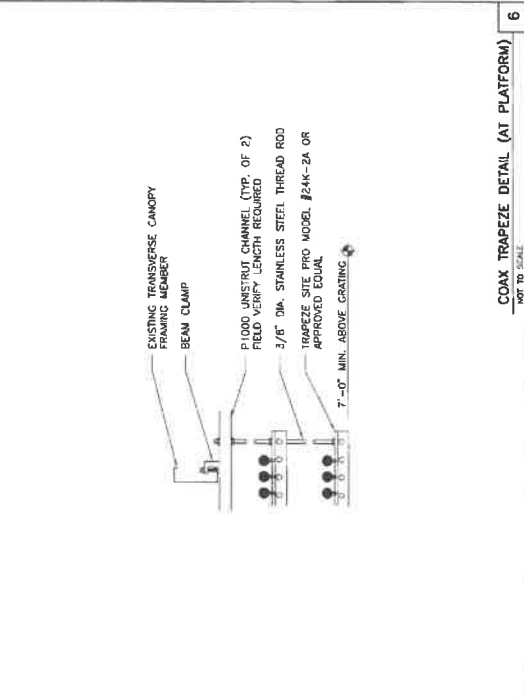
NOTE:
 GROUNDING RING DOES NOT PENETRATE SKID, TOWER, OR ICE BRIDGE FOUNDATIONS.



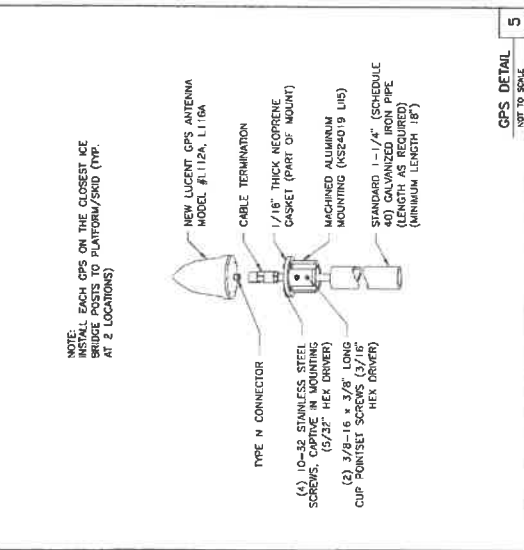
COAX ICE BRIDGE PLAN
NOT TO SCALE

RAYCAP MOUNT DETAIL
NOT TO SCALE

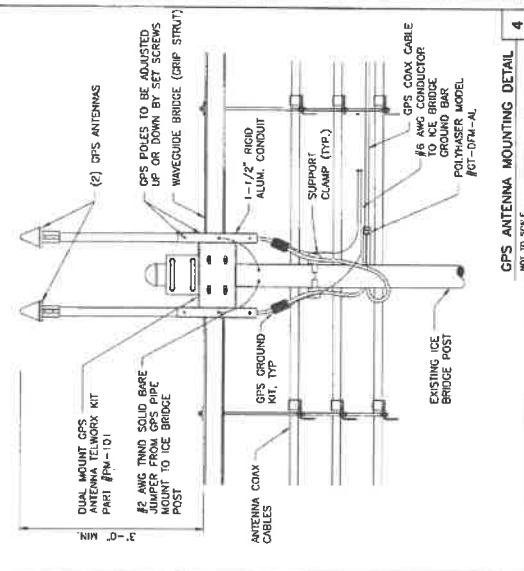
GPS ANTENNA MOUNTING DETAIL
NOT TO SCALE



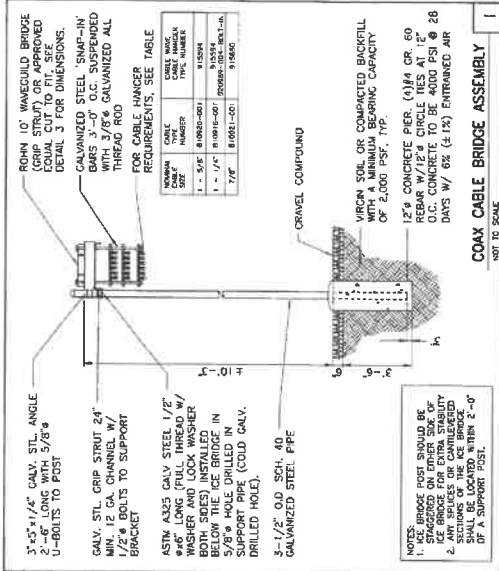
COAX TRAPEZE DETAIL (AT PLATFORM)
NOT TO SCALE



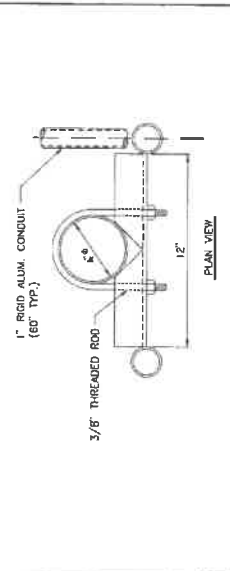
GPS DETAIL
NOT TO SCALE



GPS ANTENNA MOUNTING DETAIL
NOT TO SCALE



COAX CABLE BRIDGE ASSEMBLY
NOT TO SCALE



PLAN VIEW
NOT TO SCALE

CELCO PARTNERSHIP, D.B.A. VERIZON WIRELESS
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OFFICE: (647) 700-7995
CONSTRUCTION MANAGER:
500 TECHNOLOGY DRIVE
SANDUSKY, NY 14854
OFFICE: (605) 743-9278

CLS
CONSOLIDATED LAND SURVEYING
1300 W. COMMERCE ST. STE. 200
TOLSON, ALABAMA 36515
LAND SURVEYORS
AND PROFESSIONAL ENGINEERS
PHONE: 205-862-3115
FACSIMILE: 205-862-3113
www.clsurvey.com
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PREPARED BY: MHN 10-10-16
1 10-26-16 CHECKED BY: MHN
2 11-10-17 FIELD BY: LA SCHAMBERG
3 02-01-18 PROJECT COMPLETED

SITE NAME:
DT WASHINGTON
SHEET NAME
SITE DETAILS
SHEET NUMBER
D-3
JOB NUMBER
5816-28-03-149-03

CELCO
PARTNERSHIP, D.B.A.
FENCE ESTATE, INC.
1515 EAST WOODFIELD RD.
CHICAGO, ILL. 60615
OFFICE: (815) 706-7999
FAX: (815) 706-7999
CONSTRUCTION MANAGER:
RON PAUL
500 TECHNOLOGY DRIVE
MILWAUKEE, WI 53004
OFFICE: (414) 793-5278

CUS
CONSOLIDATED LAND SERVING
1300 W. CHURCH ST. CT. 200
PO BOX 11000
AND BLUNTSTONE
AND BLUNTSTONE
PHONE: 304-552-3434
FAX: 304-552-3434
FEDERAL REGISTER: 10-10-1979

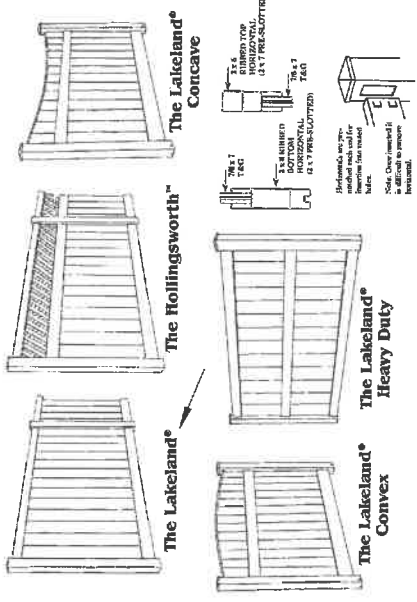
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PROPOSED SITE NAME: DT WASHINGTON
SHEET NAME: FENCING DETAILS
SHEET NUMBER: D-6
JOB NUMBER: 9816-26-03-148-03

The Lakeland® (Convex, Concave, Heavy Duty)

— The Hollingsworth™

MATERIALS REQUIRED FOR INSTALLATION: Sides — Single Cable — Two Tole Digger/Auger — Levelling Shocks — Level — Mallet — Concrete Dry Mix — Mixing Trowel



Standard Height Options:	4'0" 6'0" or 7'2"
Post Spacing Options:	8' center-to-center
Post Dimensions:	4"0" High Fence = 5" x 5" x 8' x 4" (125 mil) 6'0" High Fence = 5" x 5" x 8' x 4" (125 mil) 7'2" High Fence = 5" x 5" x 8' x 4" (125 mil)
Standard Post Depth:	4'0" High Fence = 36" Post Depth 6'0" High Fence = 36" Post Depth 7'2" High Fence = 36" Post Depth
Horizontal Dimensions:	8" Wide x 2" Thick (Bottom) 5 1/2" Wide x 2" Thick (Top - Hollingsworth only)
Post Dimensions (Vertical):	5 1/2" Wide x 2" Thick (Top - Hollingsworth only)
Ground Clearance:	2"

PROPOSED COUNTRY ESTATE VINYL FENCE SHOWN IS MANUFACTURED BY:
NEBRASKA PLASTICS, INC.
P.O. BOX 100
COZAD, NEBRASKA 69130
http://www.fencesbycountryestate.com/home
1-800-445-2857

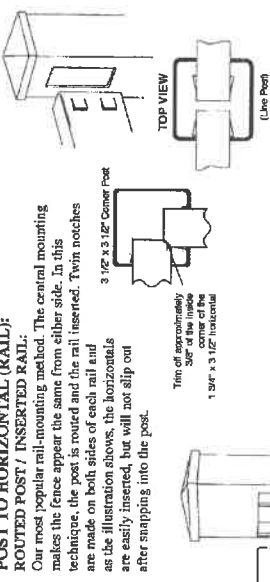
CONTRACTOR SHALL INSTALL 4" HIGH X 12" WIDE SLOTS IN THE FENCE FOR VISUAL INSPECTIONS OF THE UTILITY COMPANIES NEAR THE PROPOSED ELECTRICAL MEET.

VINYL FENCE DETAIL
NOT TO SCALE

Country Estate® installation practices and recommendations does not purport to address all of the safety concerns under local code requirements, associated with its use. It is the responsibility of the user of these prescribed installation practices to establish appropriate safety, health, and installation practices and determine the applicability of regulatory limitations prior to use.

Safety — All work shall be performed in safe and orderly fashion in accordance with the Williams-Steger Occupational Safety and Health Act of 1970.

TYPICAL FASTENING TECHNIQUES:



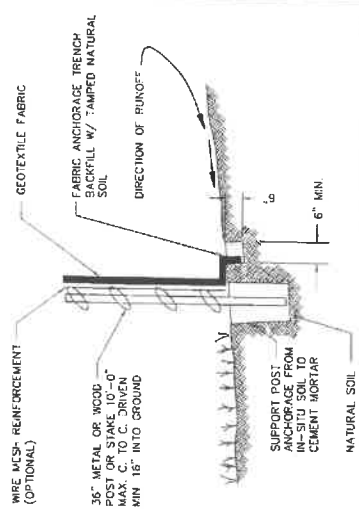
ROUTED POST / INSERTED RAIL:
Our most popular rail-mounting method. The central mounting technique, the post is routed and the rail inserted. Twin notches are made on both sides of each rail and as the illustration shows, the horizontals are easily inserted, but will not slip out after snapping into the post.

POCKET MOUNTED RAILS:

Ideal for installations on uneven or sloped yards where fence sections are stair-stepped or when you wish to be able to remove a section of fence easily. The pocket-mounts have pre-drilled holes for securing horizontals and preventing "lift-out" of a rail or fence section.

SECURING VERTICAL (PICKET) TO HORIZONTAL (RAIL):

Our traditional technique for securing vertical pickets to the horizontal framework is to first drill a 5/8" dia. hole in the backwall of the horizontal, each through the hole and mount a screw through the front wall of the horizontal and into the vertical picket. Unlike the wooden fence fastened in this manner, moisture retention between the members will never promote rot. A polyvinyl circular plug then caps the backwall 5/8" hole. It only be easily removed for any future need.



SILT FENCE DETAIL
NOT TO SCALE

1. UNLESS OTHERWISE NOTED, ALL WORK ON SHEETS D-1, D-2 AND E-1 THRU E-4 SHALL BE PERFORMED BY THE E.C.
2. THE E.C. SHALL BE LICENSED TO PERFORM WORK IN THIS COUNTY.
3. THE E.C. SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL BUILDING DEPARTMENT.
4. UNDERGROUND CONDUIT SHALL BE 3/4" OD PVC PLASTIC DUCT WITH ALL BENDS TO BE MINIMUM 18" RADIUS AND 50' SWEEP LENGTHS.
5. ABOVE GRADE IRON CONDUIT TO BE GALVANIZED STEEL WITH MATCHING FITTINGS.
6. METALIC PESTICIDE TO BE CONSTRUCTED OF GALVANIZED HARDWARE.
7. E.C. SHALL CONTACT TELEPHONE AND ELECTRIC COMPANIES AT LEAST TWENTY (20) DAYS PRIOR TO CONSTRUCTION TO OBTAIN NECESSARY INFORMATION OF EXISTING AND PROPOSED MAJOR POWER LINES AND UNDERGROUND UTILITIES OF ALL KINDS.
8. ALL 24" & 36" S/D CABLE SHALL BE BEIDEN #4680 OR EQUAL.
9. ALL WIRE SHALL BE (600V THRU) 3450V.
10. S/D ALL FOUNDATIONS.
11. ALL WORK IS TO BE IN ACCORDANCE WITH NFPA, NEMA, NEC, & ALL LOCAL CODES.
12. REPAIR AND/OR REPLACE ANY DISTURBED AGGREGATE TO MATCH EXISTING SURFACE AND REPAIR AFTER S/D-GROUND GROUNDING AND UTILITY WORK IS COMPLETE.
13. CAUTION NEEDS TO BE TAKEN SO NOT TO DAMAGE ANY EXISTING UNDERGROUND GROUNDING SYSTEM OR UTILITIES.
14. ANY EXCAVATION FOR FOUNDATIONS AND TRENCHING FOR UTILITIES SHALL BE DONE BY THE E.C. AND SHALL BE DONE 8" HAND, OR AS APPROVED BY THE CONSTRUCTION MANAGER.
15. NOT ALL NOTES OR DETAILS MAY BE APPLICABLE TO THE CONSTRUCTION OF THIS SITE DUE TO EXISTING SITE CONDITIONS.
16. E.C. TO ADJUST LAYOUT TO SITE CONDITIONS WITH APPROVAL FROM CONSTRUCTION MANAGER.
17. ELECTRICAL SERVICE WIRE BE 120/240V, 1PH, 3W.

NOT TO SCALE

- UN352 1

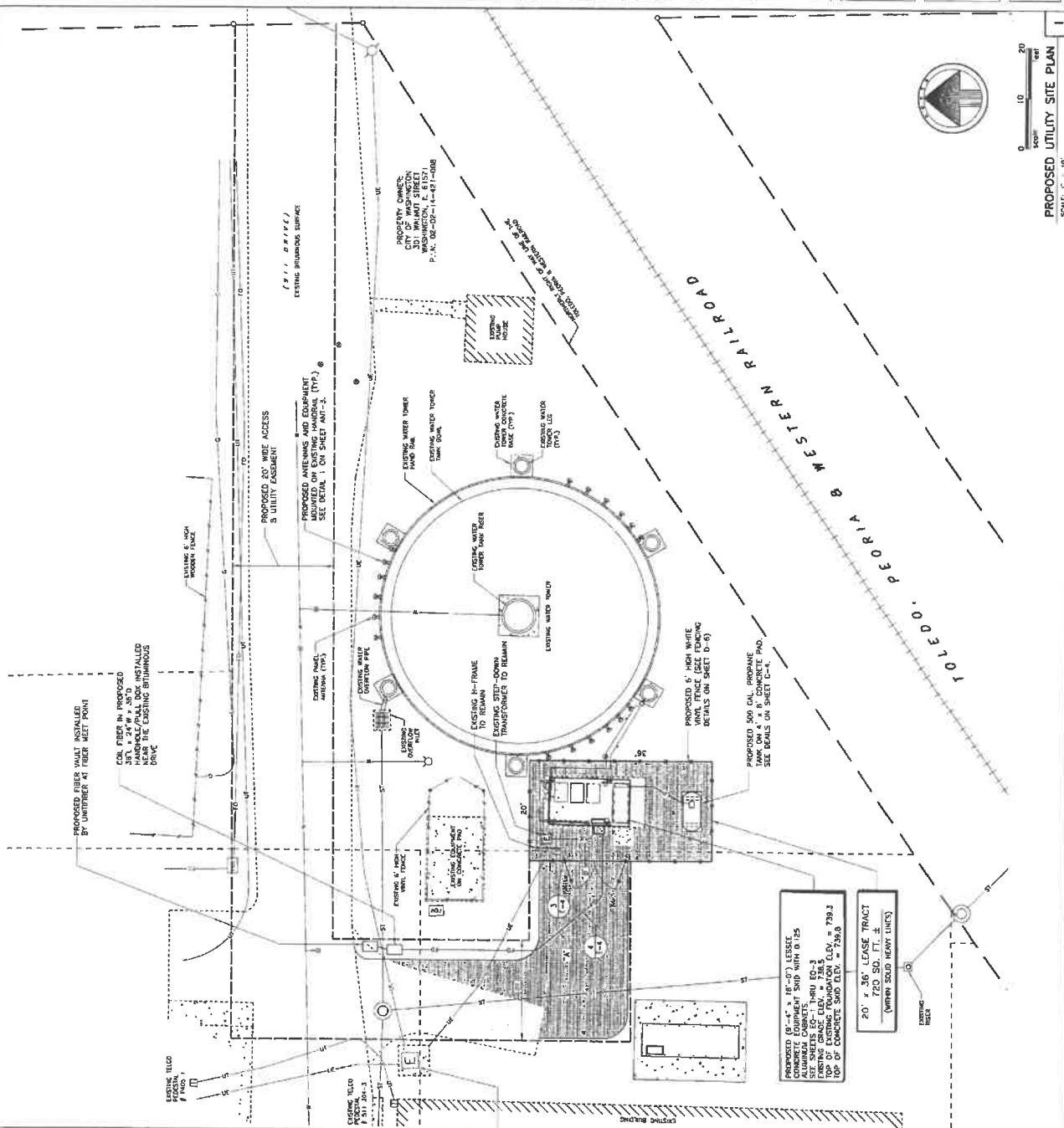
- EXISTING FENCE COMPOUND
UE PROPOSED UNDERGROUND ELECTRICAL SERVICE
FO PROPOSED UNDERGROUND FIBER SERVICE
UT EXISTING UNDERGROUND TELEPHONE SERVICE
UE EXISTING UNDERGROUND ELECTRIC SERVICE

APPROX. 15 L.F. OF 3" DIAMETER PVC SCH. 40 ELECTRICAL CONDUIT FROM EXISTING STEP-DOWN TRANSFORMER TO PROPOSED S&IC; USE RIGID GALV. STEEL CONDUIT IF REQUIRED PER LOCAL

APPROX. 60 L.F. 4" DIAMETER PVC SCH. 40
FIBER CONDUIT FROM PROPOSED HANDHOLE
INSTALLED NEAR THE EXISTING BITUMINOUS DRIVE
TO PROPOSED SKO.

2) PROPOSED 6" PVC SCH. 40 FIBER CONDUITS WITH (2) 1 1/4" INNER DUCTS IN EACH CONDUIT TO BE INSTALLED BY CONTRACTOR FROM THE PROPOSED HANDHOLE NEAR THE EXISTING BITUMINOUS DRIVE TO THE PROPOSED SINK. PROVIDE FULL LENGTH PULL ROPE IN CONDUIT AND USE LONG SWEEP ELBOWS FOR ALL 90° BENDS. CONTRACTOR SHALL NOT MAKE ANY SHARP 90° BENDS IN CONDUIT RUNS. REFER TO DETAIL 4 ON SHEET E-4.

18" PROPOSED 3" DIAMETER PVC SCH. 40 ELECTRICAL CONDUIT W/ (4) #3/8" AND (1) #4 GREY GROUND WIRE TO BE INSTALLED BY THE CONTRACTOR FROM THE PROPOSED SKID TO THE EXISTING STEP-DOWN TRANSFORMER. USE RIGID GALV. STEEL CONDUIT IF REQUIRED PER LOCAL CODE. PROVIDE 3/8" ROPE AND PULL LATCH WITH FOOTAGE MARKING IN CONDUIT. REFER TO DETAIL 3 ON SHEET E-4.



CELCO
PARTNERSHIP, D.B.A.
VERIZON WIRELESS

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ERROL OUTKASINGH
1515 EAST WOODFIELD RD.
SCHAMBOURG, IL 60173
OFFICE: (847) 706-7595

CONSTRUCTION MANAGER:
RON PAULY
500 TECHNOLOGY DRIVE
2ND FLOOR
WELDON SPRING, MO 63304
OFFICE: (636) 793-9278

575

300 W. COMMERCE DR., STE. 700
PEORIA, ILLINOIS 61615

LAND SURVEYORS
AND PROFESSIONAL ENGINEERS

PHONE: 309-692-3434
FAX: 309-692-3433

NOTATION: BCDR, PER NO. 126-0076A

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PREPARED BY: NHH	NO-10-16
10-21-16	REVISED ELECTRIC PER ARCHIT. COMMENTS & ADDED CITY COUNCILOR
10-28-16	REVISED PLATFORM TO CONCRETE SEED
01-30-17	REVISED TO UP GENERATOR & ADDED SIGN
02-04-17	ADDED ARC REINFORCED CONCRETE STOPS
02-17-17	REVISED PER FISH BASK

SITE NAME:
DT
WASHINGTON

SHEET NAME
UTILITY SITE
PLAN AND
NOTES

SHEET NUMBER
E-1

JOB NUMBER
9815-26-03-148-03

PROPOSED UTILITY SITE PLAN
SCALE: 1" = 10'

CLC
WASHINGTON, D.C.
VERIZON WIRELESS
REAL ESTATE MANAGER
EROL OUTARINCH
1000 VERMONT AVENUE, N.W.
WASHINGTON, D.C. 20005
OFFICE: (847) 705-7995
CONSTRUCTION MANAGER:
RON PAULY
1000 VERMONT AVENUE, N.W.
2ND FLOOR
WASHINGTON, D.C. 20005
OFFICE: (202) 793-9278

CONSOLIDATED LAND SURVEYING
1300 W. COMMERCE ST. 700
FLOOR 700
FARMERS BUILDING
LAND SURVEYING
AND PROFESSIONAL ENGINEERS
PHONE: 303-682-3424
FAX: 303-682-3424
WWW.CLSURV.COM

THE CONTRACTOR SHALL VERIFY THE
LOCATION AND DEPTH OF ALL EXISTING
UNDERGROUND UTILITIES PRIOR TO
INSTALLATION OF FIBER CONDUITS.
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PREPARED BY: JRM 10-10-18
DESIGNED BY: JRM 10-10-18
CHECKED BY: JRM 10-10-18
DATE: 10-10-18
PROJECT: FIBER RISER

SITE NAME:
DT
WASHINGTON

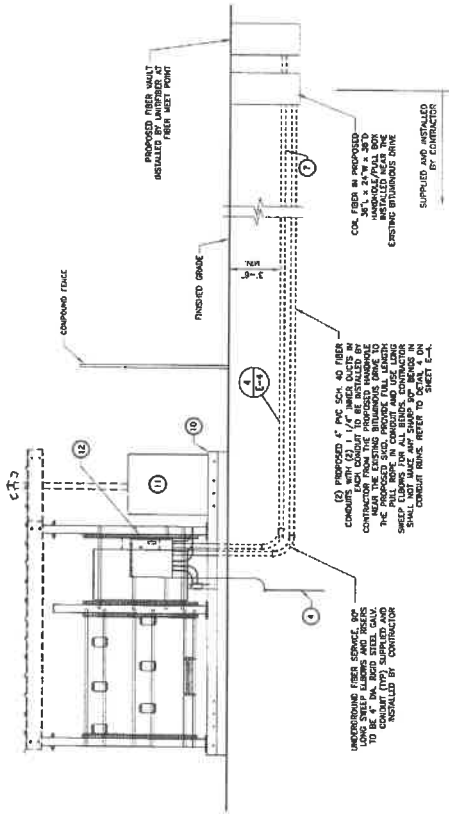
SHEET NAME
UTILITY ROUTING
PROFILE AND
NOTES

SHEET NUMBER
E-2

JOB NUMBER
9816-26-03-148-03

- GENERAL NOTES:
- FOR DIAGRAM OF ELECTRICAL SERVICE REFER TO DETAIL 2, THIS SHEET.
 - PROVIDE PULL BOXES FOR UNDERGROUND FIBER RISES AT 250'-0" O.C. AND AT ALL DIRECTION CHANGES AS REQUIRED.
 - CONTRACTOR SHALL COORDINATE WITH LOCAL TELEPHONE COMPANY PRIOR TO START OF CONSTRUCTION.
 - A MINIMUM OF 18" BETWEEN FIBER AND ELECTRICAL CONDUITS SHALL BE MAINTAINED IF PLACED IN THE SAME TRENCH.
 - APPROXIMATE CONDUIT LENGTHS ARE AS FOLLOWS:
THE EXISTING BITUMINOUS DUCT

COORDINATE ALL WORK WITH UTILITY RISER
(480) 213-5016 OR
JES@CLCWASHINGTON.COM



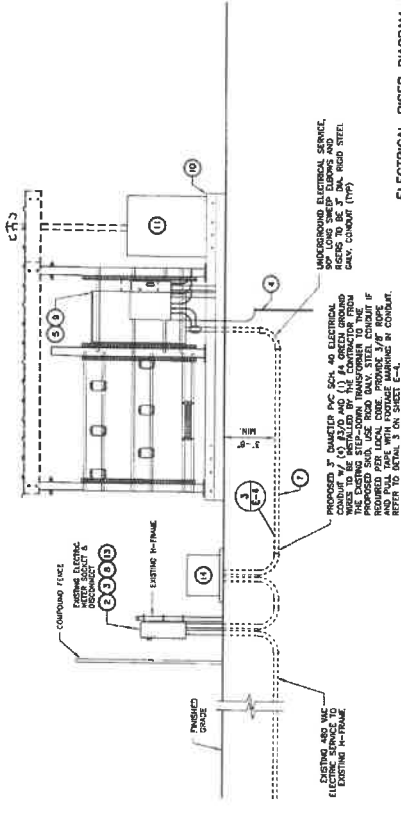
FIBER RISER DIAGRAM
NOT TO SCALE

- GENERAL NOTES:
- FOR DIAGRAM OF FIBER SERVICE REFER TO DETAIL 3, THIS SHEET.
 - ELECTRICAL SERVICE 200 AMP, 120/240-VOLT, SINGLE PHASE, 3-WIRE.
 - CONTRACTOR SHALL COORDINATE WITH LOCAL POWER COMPANY PRIOR TO START OF CONSTRUCTION.
 - APPROXIMATE CONDUIT LENGTHS ARE AS FOLLOWS:
15 L.F. FROM PROPOSED STEP-DOWN TO EXISTING TRANSFORMER

COORDINATE ALL WORK WITH AUSTIN
REPRESENTATIVE ADAM BOWEN@AUSTIN
ADAM@AUSTINPOWER.COM
PREMISE # 255185000

THE CONTRACTOR SHALL VERIFY THE
LOCATION AND DEPTH OF ALL EXISTING
UNDERGROUND UTILITIES PRIOR TO
INSTALLATION OF ELECTRICAL
CONDUITS.

ELECTRICAL SERVICE 200 AMP,
120/240-VOLT, SINGLE PHASE, 3-WIRE



ELECTRICAL RISER DIAGRAM
NOT TO SCALE

ELECTRIC & FIBER RISER KEY NOTES

- NOT JACO
- EXISTING RISER SOCKET ON EXISTING H-FRAME
- ELECTRICAL RISER BY UTILITY COMPANY
- GROUND ROD FOR UTILITY COMPANY GROUNDING OF SERVICE CONNECTION
INSTALLED BY CONTRACTOR
- 200 AMP INTERMEDIATE LOAD CENTER (48 SPACE) SUPPLIED AND
INSTALLED BY CONTRACTOR
- SURGE ARRESTOR LOCATED WITHIN PANEL
- PROPOSED ELECTRICAL & FIBER SERVICES TO CONNECT WITH EXISTING
UTILITY SERVICES
- EXISTING DISCONNECT ON H-FRAME
- 225 AMP AUTOMATIC TRANSFER SWITCH LOCATED WITHIN THE E.C.
- PROPOSED CONCRETE SKID
- PROPOSED GENERATOR
- 20' HETWORTH'S CHARLES CUBE R-1000-A
- EXISTING SERVICE DUCT AND RISER ON H-FRAME
- EXISTING AND MOUNTED STEP-DOWN ELECTRICAL TRANSFORMER

CELCO PARTNERSHIP, D.B.A. VERRION WIRELESS
 REAL ESTATE MANAGER
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 CONSTRUCTION MANAGER:
 500 TECHNOLOGY DRIVE
 2ND FLOOR
 WELDON SPRING, MO 63304
 OFFICE: (314) 793-9270

CLS
 CONSULTING LAND SURVEYING
 1300 N. SHARPSBURG RD. BOX 700
 POCAM, ILLINOIS 61315
 LAND SURVEYORS
 AND PROFESSIONAL ENGINEERS
 PHONE: 815-297-1411
 FAX: 815-297-3131
 ILLINOIS LICENSE NO. 01-15-115

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PREPARED BY: RBL 01-15-115

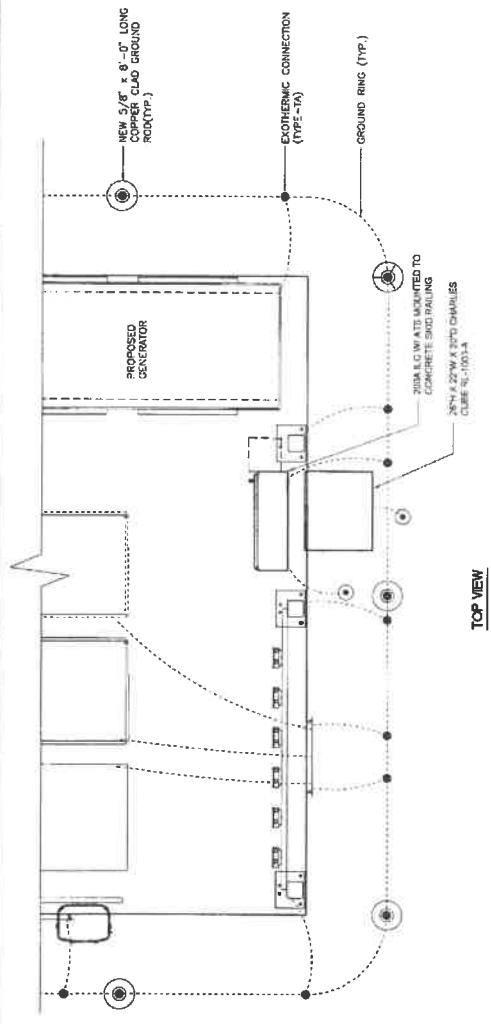
1	POWER PLANT FOR WELDON SPRING, MO ADDED CTT CONDUIT
2	10-2-16 POWER PLANT FOR WELDON SPRING, MO ADDED CTT CONDUIT

SITE NAME:
**DT
 WASHINGTON**

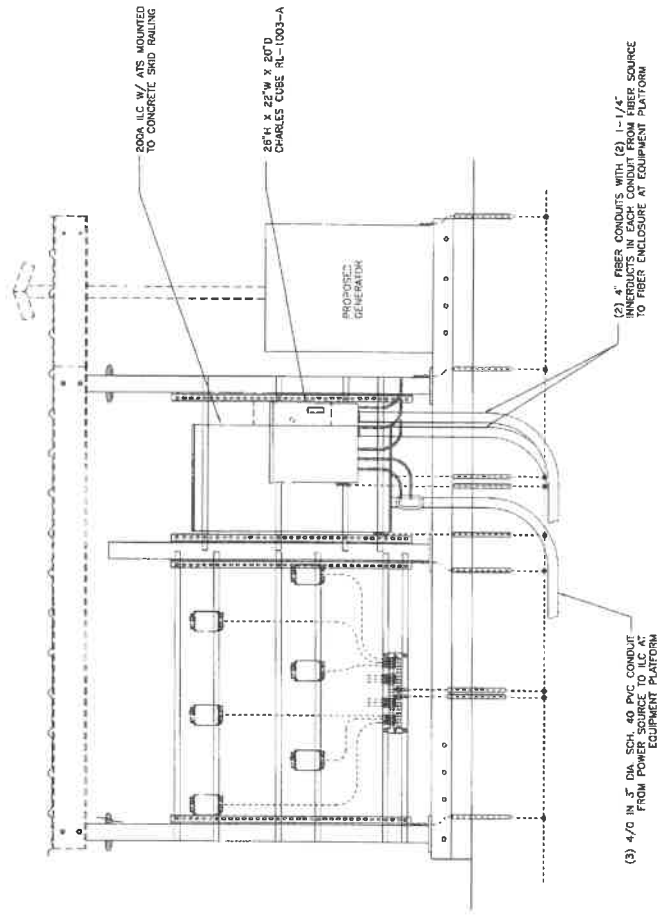
SHEET NAME
**CONCRETE SKID
 UTILITY DETAILS**

SHEET NUMBER
E-3

JOB NUMBER
 9816-26-03-14B-03



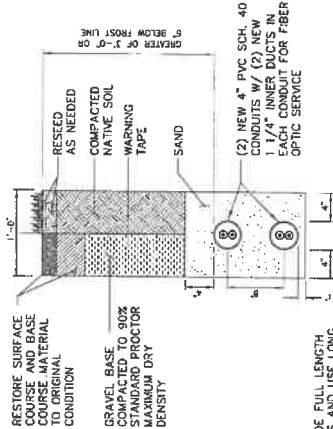
TOP VIEW



PROFILE VIEW

PLATFORM UTILITY DETAIL
 NOT TO SCALE

SECTION FOR USE UNDER
PAVEMENT OR VEHICLE
TRAFFIC AREAS

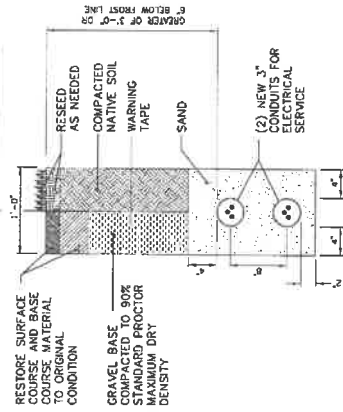


CONTRACTOR TO PROVIDE FULL LENGTH
PULL ROPE IN CONDUITS AND USE LONG
SWEEP ELBOWS FOR ALL BENDS.
CONTRACTOR SHALL NOT MAKE ANY
SHARP 90° BENDS IN CONDUIT RUNS.

FIBER OPTIC TRENCH DETAIL
NO SCALE

4

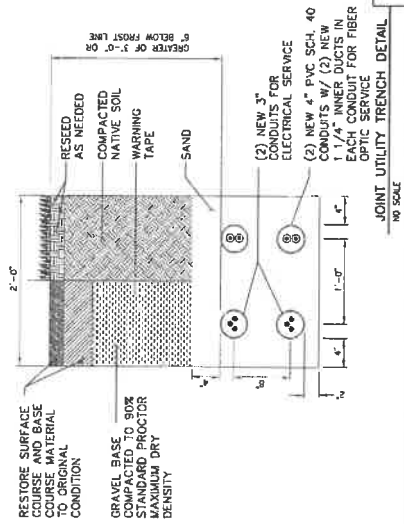
SECTION FOR USE UNDER
PAVEMENT OR VEHICLE
TRAFFIC AREAS



ELECTRICAL TRENCH DETAIL
NO SCALE

3

SECTION FOR USE UNDER
PAVEMENT OR VEHICLE
TRAFFIC AREAS



JOINT UTILITY TRENCH DETAIL
NO SCALE

2

CELCO
PARTNERSHIP, D.B.A.
VERNON WIRELESS

REAL ESTATE MANAGER:
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CONSTRUCTION MANAGER:
500 TECHNOLOGY DRIVE
2ND FLOOR, WILSON, MO 63304
OFFICE: (636) 783-9278

CONSOLIDATED LAND SURVEYING
1329 W. COMMERCE ST. STE. 700
TOLSON, ILLINOIS 61155
LAND SURVEYING
AND PLANNING
P.O. BOX 301-892-3434
FAX: 309-692-3433
REGISTERED SURVEYOR NO. 00-000000

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PREPARED BY: H&M 10-10-16

SITE NAME:
DT
WASHINGTON

SHEET NAME
H-FRAME AND
TRENCH DETAILS

SHEET NUMBER
E-4

JOB NUMBER
9816-28-03-148-03

NOT APPLICABLE
NO SCALE

OLIGO PARTNERSHIP, D.B.A. VERICON WIRELESS
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 PROFESSIONAL ENGINEER REG. NO. 06-0000000

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PROJECT: DT WASHINGTON	DATE: 10-10-18

SITE NAME:
DT WASHINGTON

SHEET NAME
SITE PHOTOS

SHEET NUMBER
P-1

JOB NUMBER
 9816-26-03-148-03



STANDING AT THE EXISTING COAX CABLE RUN ON THE WATER TOWER LEG (LOOKING NORTHEAST)



VIEW OF THE EXISTING WATER TOWER (LOOKING SOUTHEAST)



STANDING WEST OF THE SITE IN THE ACCESS EASEMENT (LOOKING NORTHEAST)



STANDING WEST OF THE SITE IN THE ACCESS EASEMENT (LOOKING EAST)



STANDING WEST OF THE SITE IN THE ACCESS EASEMENT (LOOKING EAST)



STANDING EAST OF THE SITE NEAR THE PUMP HOUSE (LOOKING WEST)



STANDING SOUTH OF THE SITE NEAR THE RAILROAD (LOOKING NORTH)



STANDING AT THE EXISTING UTILITY H-FRAME (LOOKING EAST)

SLICO PARTNERSHIP, D.B.A. VERIZON WIRELESS
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SCHAMBURG, IL 60733
OFFICE: (847) 700-7965
CONSTRUCTION MANAGER:
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SCHAMBURG, IL 60733
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CLU
CONSOLIDATED LEAD SURVEYING
1330 W. CHURCH ST. STE. 200
P.O. BOX 181115
INDIANAPOLIS, IN 46216-1115
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AND PROFESSIONAL ENGINEERS
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OR ENGINEER. THE SURVEYOR OR
ENGINEER IS NOT RESPONSIBLE FOR
ANY ERRORS OR OMISSIONS
IN THE SURVEYING OR ENGINEERING
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PREPARED BY: RRM	10-10-16
DATE: 10-10-17	ADDED REC

SITE NAME:
DT
WASHINGTON

SHEET NAME
NOTICE TO
CONTRACTORS

SHEET NUMBER
NTC-1

JOB NUMBER
9916-25-03-148-03

☒	Contaminated groundwater Presence of asbestos Soil	permanent part of the chain of title for the property. EBI concludes the above LUST represents a CREC to the Subject Property. However, based upon the distance of the Project Site from the furthest extent of contamination, the presumed hydrogeologic gradient relative to the Project Site, and limited excavation proposed at the Project Site, EBI concludes the above LUST does not represent a CREC to the Project Site. EBI recommends no further action regarding the CREC. Confirmed Lead Impacted Soil - The soil sampling investigation scope of work included the manual advancement of one soil boring, which was advanced in the location of the proposed concrete equipment skid. The boring was advanced to a depth of one foot below ground surface. The soil sample was collected and submitted for analysis of Total Lead and Toxicity Characterization Leaching Procedure (TCLP) Lead. The results of the analysis of the soil sample is illustrated below. <table><thead><tr><th colspan="2">Soil Sampling Results</th><th>Total Lead Content (ppm)</th></tr><tr><th>Sample No.</th><th>Sample Location</th><th></th></tr></thead><tbody><tr><td>SS-1</td><td>Proposed equipment location</td><td>27</td></tr></tbody></table> Note: "<" = no lead was detected in the sample <table><thead><tr><th colspan="2">Soil Screening Results</th><th>TCLP Lead Content (ppm)</th></tr><tr><th>Sample No.</th><th>Sample Location</th><th></th></tr></thead><tbody><tr><td>SS-1</td><td>Proposed equipment location</td><td><0.50</td></tr></tbody></table> Note: "<" = Lab non-detect As presented above, concentrations of Total Lead were detected in the soil sample at the Project Site; however, the identified concentrations of lead in soils were below regional background levels (60 mg/kg) and below applicable state soil remediation objective (500 mg/kg). The soil sample was also analyzed for TCLP Lead in an effort to determine if the soil would be classified as a hazardous waste and would require any special disposal or relocation procedures. As defined by the Resource Conservation and Recovery Act (RCRA), soil containing leachable lead concentrations equal to or below 5.0 mg/L can be disposed as a non-hazardous waste, whereas concentrations greater than 5.0 mg/L are considered a hazardous waste. The TCLP Lead levels were below the TCLP standard for lead. As such, from a disposal or soil relocation standpoint, the soil is acceptable for TCLP Lead content.	Soil Sampling Results		Total Lead Content (ppm)	Sample No.	Sample Location		SS-1	Proposed equipment location	27	Soil Screening Results		TCLP Lead Content (ppm)	Sample No.	Sample Location		SS-1	Proposed equipment location	<0.50
Soil Sampling Results		Total Lead Content (ppm)																		
Sample No.	Sample Location																			
SS-1	Proposed equipment location	27																		
Soil Screening Results		TCLP Lead Content (ppm)																		
Sample No.	Sample Location																			
SS-1	Proposed equipment location	<0.50																		
☒	Other: Vicinity Creek, Vicinity Wells and Catch Basins	Vicinity Creek - Farm Creek is located approximately 250 feet north of the Project Site. Vicinity Wells and Catch Basins - Two public water supply wells are located approximately 25 ft east (crossgradient) of the project site and 250 ft northwest (downgradient) of the project site.																		

NOTICE TO CONTRACTOR - ENVIRONMENTAL CONDITIONS/RESTRICTIONS AT DT Washington (Great Lakes)

Note: Verizon Wireless makes no representation or warranty as to the accuracy or completeness of the information below. Company is fully responsible for its own compliance with all applicable laws and regulations. To the extent that Company becomes aware of any additional environmental conditions, it agrees to immediately inform Verizon Wireless.

The Company's response to this construction bid shall constitute the Company's acknowledgement and acceptance of the stated conditions and restrictions at the site.

The following environmental conditions have been identified at the project site:

Environmental Condition	Description and Location of Contaminant
☒ Contaminated soil	Historic Spill Incident - EBI's review of regulatory databases identified a 2002 spill is purported to be associated with the Subject Property. According to the database report and the Illinois Emergency Management Agency, an unknown amount of diesel fuel was spilled from a 1,000-gallon diesel AST located near the fuel tank. The spill was approximately 5' x 20'. No cleanup was performed on the spill. The Subject Property 1,000-gallon diesel AST is located on the western portion of the Subject Property, approximately 300 feet west and downgradient of the Project Site. A 1,000-gallon diesel fuel AST is located approximately 25 ft west (downgradient) of the Project Site; however, the vicinity AST was recently installed at the Subject Property. Based upon the fact that no cleanup was identified with the spill, the spill represents a REC to the Subject Property. However, based upon the distance and presumed hydrogeologic gradient relative to the Project Site and limited excavation proposed at the Project Site, EBI concludes the spill does not represent a REC to the Project Site. EBI recommends no further action regarding the REC. Historic Leaking Underground Storage Tank (LUST) Incident - According to the database report and the Office of the Illinois State Fire Marshal, two 6,000-gallon gasoline LUSTs were installed on the adjacent property to the south (Public Works facility) in 1977, last used in 1952, and removed in 1982. No further information was provided. According to information provided by the Illinois Environmental Protection Agency, a release was noted upon removal of the two 6,000-gallon gasoline LUSTs in 1982. The LUSTs were located adjacent to the south of the Subject Property and approximately 115 feet downgradient of the Project Site. The estimated extent of soil contamination extended north of the Public Works parcel onto the Subject Property, and contaminated soil was excavated as much as possible. Groundwater was found to be between 8-10 feet below grade in the vicinity of the former LUSTs, and groundwater flow was measured to be in the west-northwest. The only contaminated groundwater at the site appears to be from an off-site source that does not impact the Subject Property. According to a No Further Remediation letter issued July 30, 2004 and received August 18, 2004, engineering studies have been conducted and issued as conditions of LUST closure. The Subject Property owner has installed access barriers to contaminated soil remaining on the Subject Property, and institutional controls included restricting the NFR letter as a

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CONSTRUCTION MANAGER
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FARMINGTON, CT 06030
OFFICE: (860) 783-8278

CLC CONSULTING AND SURVEYING
1300 N. COMMERCE ST. STE. 700
P.O. BOX 11815
AND DIRECTOR
PHYS. 300-862-3433
FAX 300-862-3433
FARMINGTON, CONNECTICUT 06030-1181

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PREPARED FOR: MHI 10-10-14
1 10-10-17 1000 REC

SITE NAME:
DT WASHINGTON

SHEET NAME
NOTICE TO CONTRACTORS

SHEET NUMBER
NTC-2

JOB NUMBER
9816-26-03-148-03

Company is required to comply fully with all applicable environmental, industrial hygiene, and worker health and safety laws and regulations. Verizon Wireless' director and field representatives, contained in this Notice to Contractors. Company shall retain qualified, appropriately licensed and insured (as required), as applicable, and adequately insured environmental firms for the completion of specialized work, as required. Verizon Wireless shall have the final authority to approve the selection of such environmental firms performing services on its behalf. The construction bid package shall include qualifications of proposed firms with respect to the following required services:

Environmental Services Required	
Check All That Apply	
Asbestos Abatement	
Lead based paint abatement	
Hazardous or special waste transportation and disposal	
Verizon Wireless-Approved Waste Transportation	
SECT Environmental	
450 Suncor Road	
Wheeling, IL 60090	
Phone: 847-371-9221	
FMS ID: 11000079304	
Approved Local Disposal Facilities	
Laureway Landfill	Five Oaks RDF
21203 W. Lawrence Rd.	890 E. 1500 North Rd.
Joliet, IL 60438	Taylorville, IL 62598
EPA ID: ILD074411745	EPA ID: ILD984852508
Consult Verizon Wireless' environmental consultant (EBI Consulting)	
Excavation, drilling or advancement through and staging/stockpiling of contaminated media.	
Other:	
Implement Soil Erosion and Sediment Control Plan as appropriate	
Environmental oversight is required during excavation activities (The contact for EBI is clc@ebiconsulting.com). Consultant requires at least three (3) weeks advance notice of excavation activities so that they can properly mobilize to perform soil characterization and coordination of final disposal of excess soil.	

Company shall ensure at all times that only appropriately trained qualified, and licensed workers perform the required environmental services. It is the responsibility of Company to adhere to the following restrictions in response to the above environmental conditions:

An outside environmental "oversight" consultant is required if transportation and disposal of waste is carried out in accordance with applicable laws, regulations and the Verizon Wireless Environmental Compliance Program. THE USE OF SUCH CONSULTANT IS MANDATORY.

Site Restrictions	
Check All That Apply	
Excavation/transportation methods. Description: Construction related staging and stockpiling of excavated materials that occur to the north of the Project Site.	
Diesel fuel prohibited at construction site except in fuel tank of vehicle.	
Gasoline prohibited at construction site except in fuel tank of vehicle.	
Other:	

Additionally two stormwater catch basins, which discharge into the municipal sewerage system are located on the western portion of the Subject Property near 911 Drive.
See attached Figure 3 Site Plan provided by EBI Consulting.

Applicable legal requirements or Verizon Wireless policies and procedures may require that these conditions be communicated to all parties involved in the construction activities at the project site. To the extent that the scope of the project work includes measures to address these conditions, details of the work to be performed shall be as specified in the project documents and/or the Authorization Letter

Environmental conditions affecting scope of work	
Vegetation Surface Water Feature -	
Contractors are advised of the location of a creek, located approximately 250 feet north of the Project Site. Contractors are to be advised to take appropriate precautions to avoid impacts during construction/installation activities.	
To prevent any negative impact to the vicinity creek, the appropriate use of silt fences and other soil erosion control best management practices (as appropriate) and best practices for stormwater management must be implemented prior to and maintained throughout construction activities at the site.	
Construction related staging and stockpiling of excavated soils may not occur to the north of the proposed Project Site and must occur in a manner that will not cause impact the vicinity creek.	
Confirmed Lead in Soils:	
Contractors/Personnel must be advised of the presence of low level concentrations of lead in shallow soils at the Project Site. Contractors must be advised to take appropriate precautions during construction activities.	
If excavated soil is not to be shipped off-site, then no further action is recommended. Soil may be reused on site in the location from which it was excavated.	
Excess Soils - If construction activities will cause soils to be excavated and transported offsite then excess soils should be handled in accordance with applicable state and federal guidelines. The construction contractor is responsible for determining if the analytical results contained within the Phase I ESA (Environmental Site Assessment) and the Phase II ESA (Toxicity Characterization Leaching Procedure) analysis for Lead via EPA method SW846-13117-020 is sufficient for disposal of materials containing detectable concentrations of lead. Disposal facility standards and costs vary, and it is the responsibility of the construction contractor to determine the applicable standards of the specific disposal facility.	
Contractors must be required to comply with applicable regulations including the OSHA Lead in Construction standard (29 CFR 1926.61) and the EPA Lead in Construction standard (40 CFR 102.6) during the performance of areas with lead-containing paint.	
Verizon Wireless' environmental consultant (EBI Consulting) must be notified three weeks (3) in advance of initiation of construction so that they can properly mobilize to coordinate off-site soil disposal activities. EBI Consulting (Contact Mr. Devon Pavlek, Program Manager, 773.748.6768).	
Vicinity Wells and Catch Basins -	
Contractors/Personnel must be advised of the location of (1) two public water supply wells located approximately 25-ft east (crossgradient) of the project site and 250-ft northwest (downgradient) of the project site; and (2) two stormwater catch basins, located on the western portion of the Subject Property near 911 Drive. Contractors must be advised to take appropriate precautions during construction activities involving ground disturbance.	

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PREPARED BY	DATE	10-10-18
01-10-17	ADDED REC	

SITE NAME: _____
DT
WASHINGTON

SHEET NAME
NOTICE TO
CONTRACTORS

SHEET NUMBER
NTC-3

JOB NUMBER
9816-28-03-148-03



Figure 3 - Site Plan
DT Washington / 20141027697 / 288493
214 North Main Street
Washington, Kansas
Not to scale

FBI Consulting

Confidential Client-Attorney Work Product

Contractor's Signature: _____
 Print Name: _____
 Witness: _____
 Name: DT Washington
 Site Address: 218 North Main Street
 City: Washington State: Illinois

NOTE: This signed original is to be returned to Territory Compliance along with the EES Closeout Report.

REAL ESTATE MANAGER:
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SCHAUMBURG, IL 60173
OFFICE: (647) 706-7995

CONSTRUCTION MANAGER:
RON PAULY
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PROFESSIONAL DESIGN FIRM NO. 144-001704

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0-7

11-09-16	REVISED FOR MFM
RECEIVED BY: MFM	10-10-15

SITE NAME:
DT
WASHINGTON

SHEET NAME
LESSEE
PLAY OF SURVEY

SHEET NUMBER
LS-1

JOB NUMBER
1816-26-03-148-03



DECEMBER

BOUNDARY LINE OF LEASE SITE	○	(50')	POINT OF BEGINNING
RIGHT OF WAY LINE	—	P.O.B.	SCHEDULE B EXCEPTION
PARENT PARCEL	- - - - -		
EXISTING PROPERTY LINE	- - - - -		
PROPOSED EASEMENT LINE	- - - - -		
EXISTING EASEMENT LINE	- - - - -		
SURVEY PIPE OR ROD FOUND	○		

SEE SHEET LS-1.1 FOR LEGAL DESCRIPTIONS

SEE SHEET LS-1.1 FOR PARENT PARCEL DETAIL &

PAGE 1 OF 2

35912 OREGON, THE STATE OF, 1997, 1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676,



Exp. No. 11-30-16

WE HEREBY CERTIFY THAT WE HAVE
 SURVEYED AND PREPARED A PLAN OF A PORTION OF PART OF SECTION 24,
 THE SOUTHWEST QUARTER OF THE SOUTHWEST CORNER OF SECTION 14, TOWNSHIP 26
 AND THE SOUTHEAST QUARTER OF SECTION 14, TOWNSHIP 26
 AND THAT THE ABOVE PLAN IS A CORRECT REPRESENTATION OF SAID SURVEY AS MADE
 BY US AND DATED AT A SCALE OF 1 INCH = 40 FEET.

GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____, A.D. 1912.

CONSOLIDATED LAND SURVEYING, INC.

W. H. H. H. H.

N. BAUGH HOUSE, ELMERS PROFESSIONAL LAND SURVEYOR NO. 2612

**CELCO
PARTNERSHIP, D.B.A.
VERIZON WIRELESS**

**REAL ESTATE MANAGER:
ERROL OUTSINGH
1515 EAST WOODFISH RD.
SCHAMBURG, IL 60173
OFFICE: (847) 706-7995**

**CONSTRUCTION MANAGER:
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500 TECHNOLOGY DRIVE
2ND FLOOR
WELDON SPRING, MO 63304
OFFICE: (636) 793-9278**

CUS
CONSOLIDATED LAND SURVEYING
1300 W. COMMERCE DR. STE. 700
PEORIA, ILLINOIS 61615
LAND SURVEYORS
AND PROFESSIONAL ENGINEERS
PHONE: 309-683-3434
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NATIONAL SURVEYING SOCIETY MEMBER

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[illegible]

SITE NAME:
DT
WASHINGTON

SHEET NAME
LESSEE
PLAT OF SURVEY
LEGAL DESCRIPTIONS

SHEET NUMBER
LS-1.1

JOB NUMBER
9816-26-03-148-03

LEGAL DESCRIPTION
720 50. FT. ±
PROPOSED 20' x 35' TRACT

LEGAL DESCRIPTION
PROPOSED 20' WIDE INGRESS, EGRESS & UTILITY EASEMENT
A 20 FOOT WIDE INGRESS, EGRESS AND UTILITY EASEMENT BEING A PART OF SUBLOT C, SUBLOT P AND SUBLOT J OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 14, TOWNSHIP 28 NORTH, RANGE 3 WEST OF THE THIRD PRINCIPAL MERIDIAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

[illegible]

LEGAL DESCRIPTION
PROPOSED 5' WIDE COAX EASEMENT
A 5 FOOT WIDE COAX UTILITY EASEMENT BEING A PART OF SUBLOT 0 OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 14, TOWNSHIP 26 NORTH, RANGE 3 WEST OF THE THIRD PRINCIPAL MERIDIAN, THE CENTERLINE OF WHICH BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

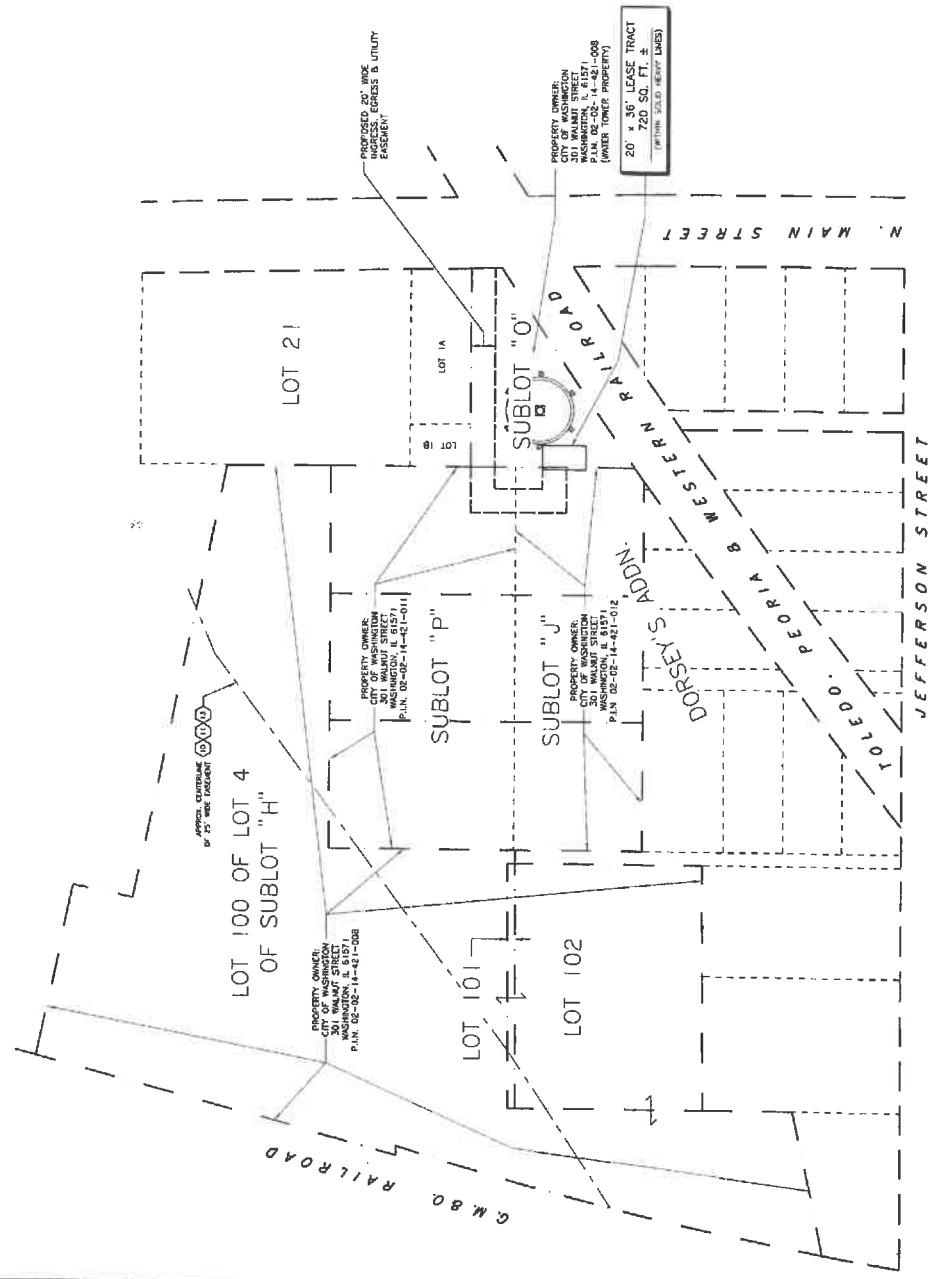
[illegible]

**LEGAL DESCRIPTION
EXISTING PARENT PARCEL**

(PER TITLE COMMITMENT NUMBER 11253570, DATED AUGUST 13, 2016)

ALL THOSE PARCELS OF LAND IN TAZEWELL COUNTY, STATE OF MISSOURI FULLY DESCRIBED IN DEED DCC# 930789, DCC# 938442 AND DCC# 441516, AND ALL THAT ARE MORE FULLY DESCRIBED IN DEED DCC# 375209, THAT ARE PART OF PARCEL OF LAND IN TAZEWELL COUNTY, STATE OF MISSOURI, AS MORE FULLY DESCRIBED IN DEED DCC 375209.

PAGE 2 OF 2



EXISTING PARENT PARCEL DETAIL
NOT TO SCALE